





Ground Floor Plan



Typical Upper Floor Plan (floors 2 & 3)



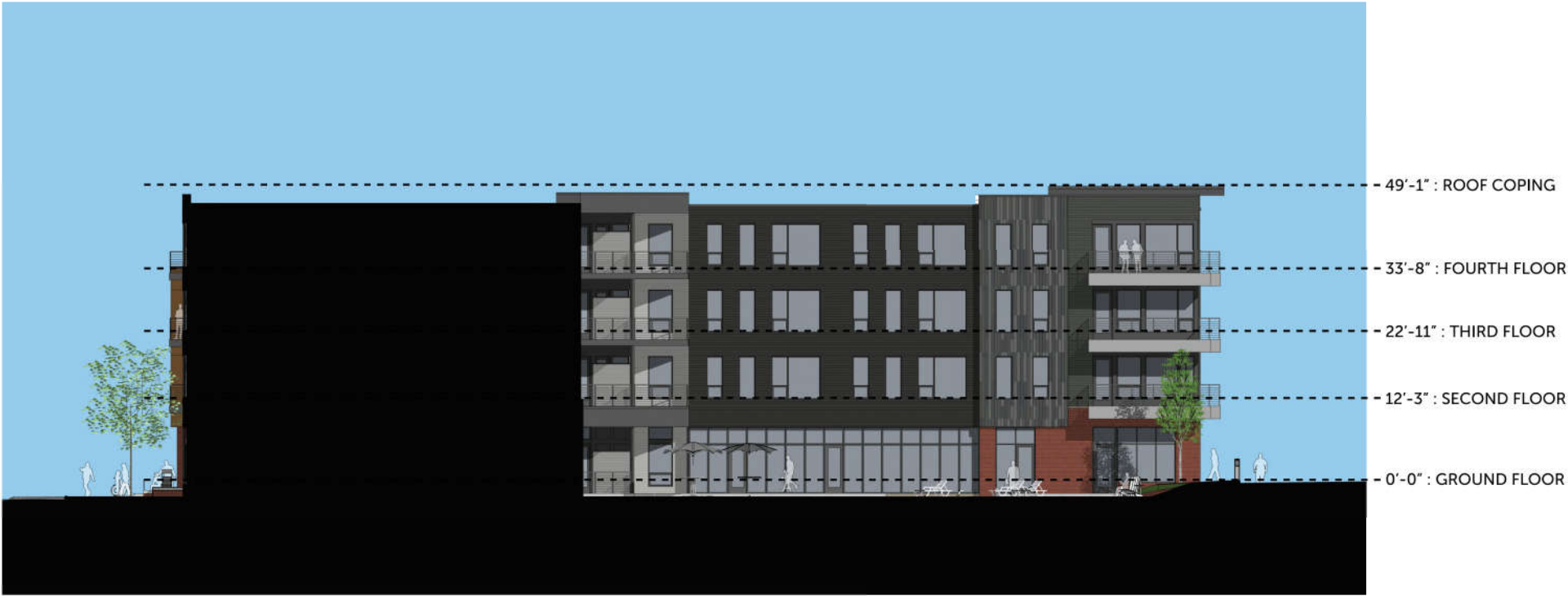
Cedar Road Elevation (Street level windows = 74.9% of lineal frontage)



Shared Street Elevation



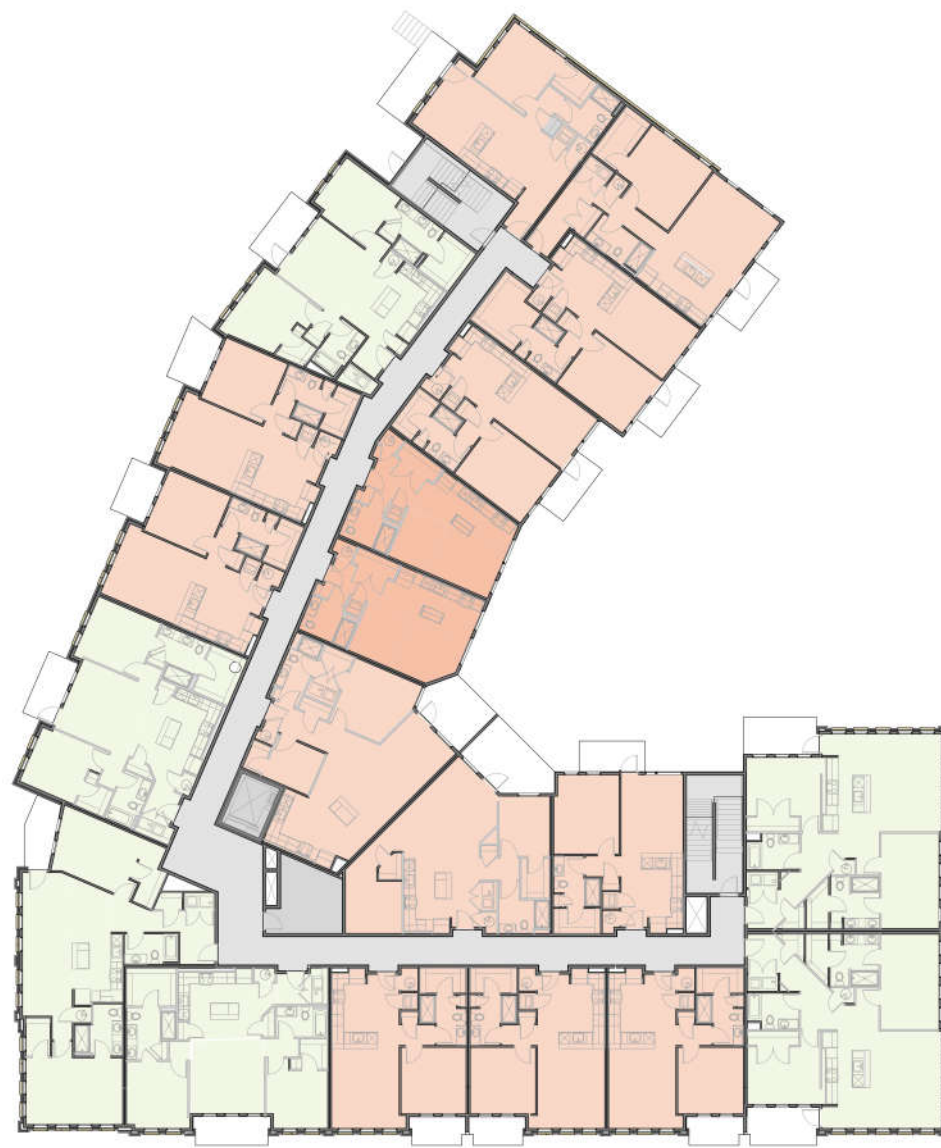
Courtyard Elevation looking west



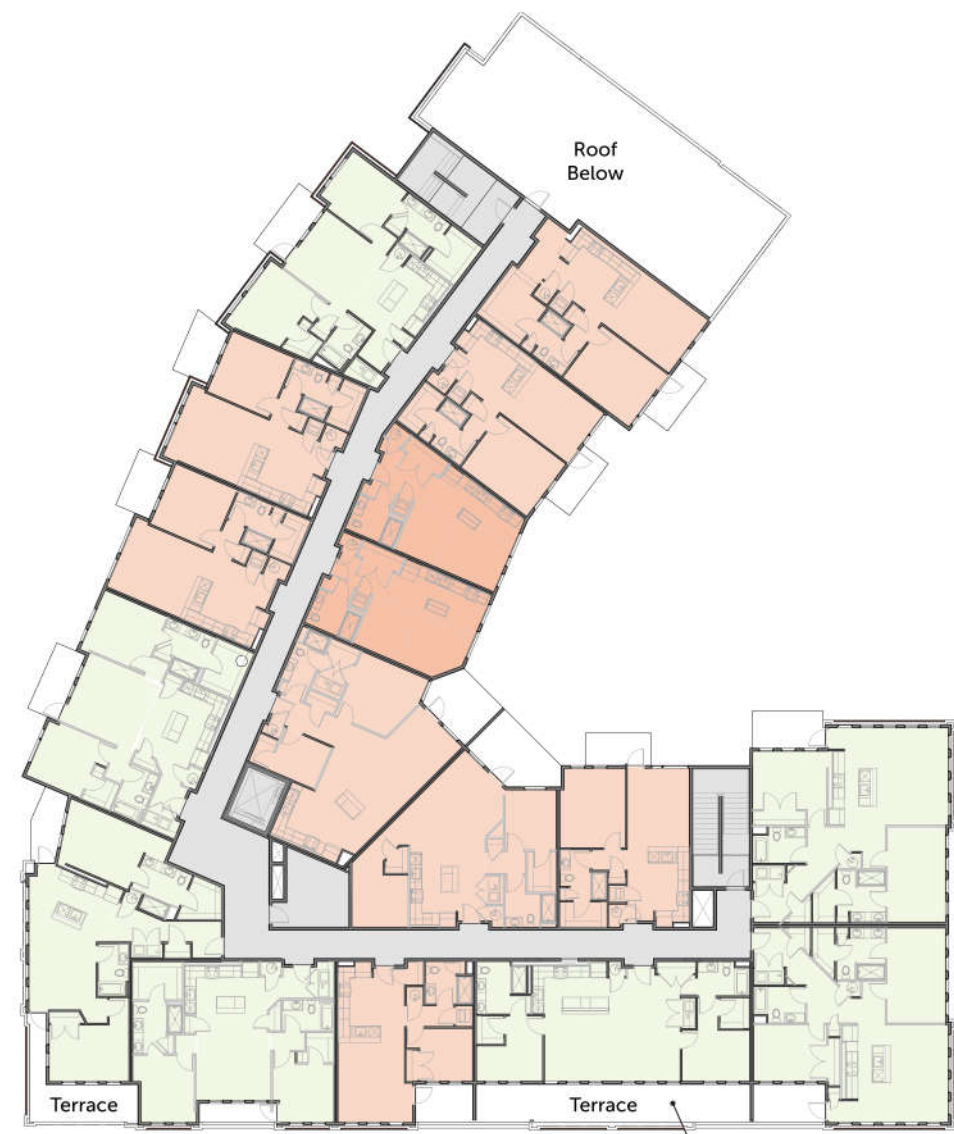
Courtyard Elevation looking north



Ground Floor Plan



Typical Upper Floor Plan (floors 2 & 3)



Fourth Floor Plan



Lee Road Elevation (Street level windows = 88.9% of lineal frontage)

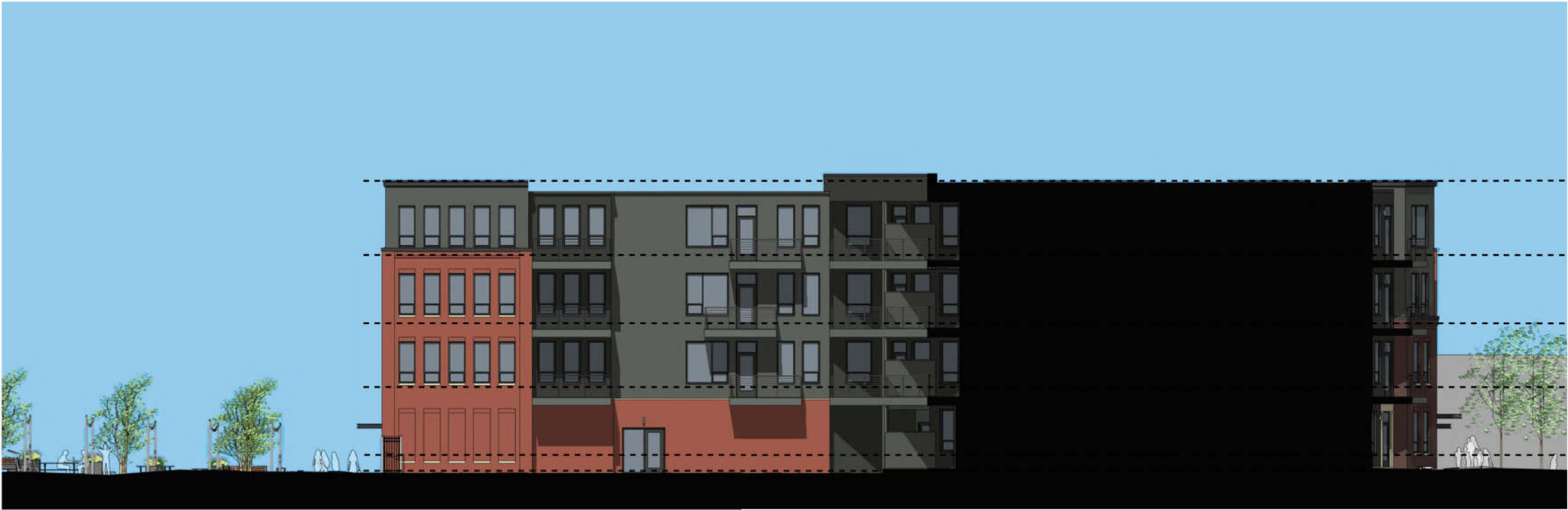


Tullamore Road Elevation



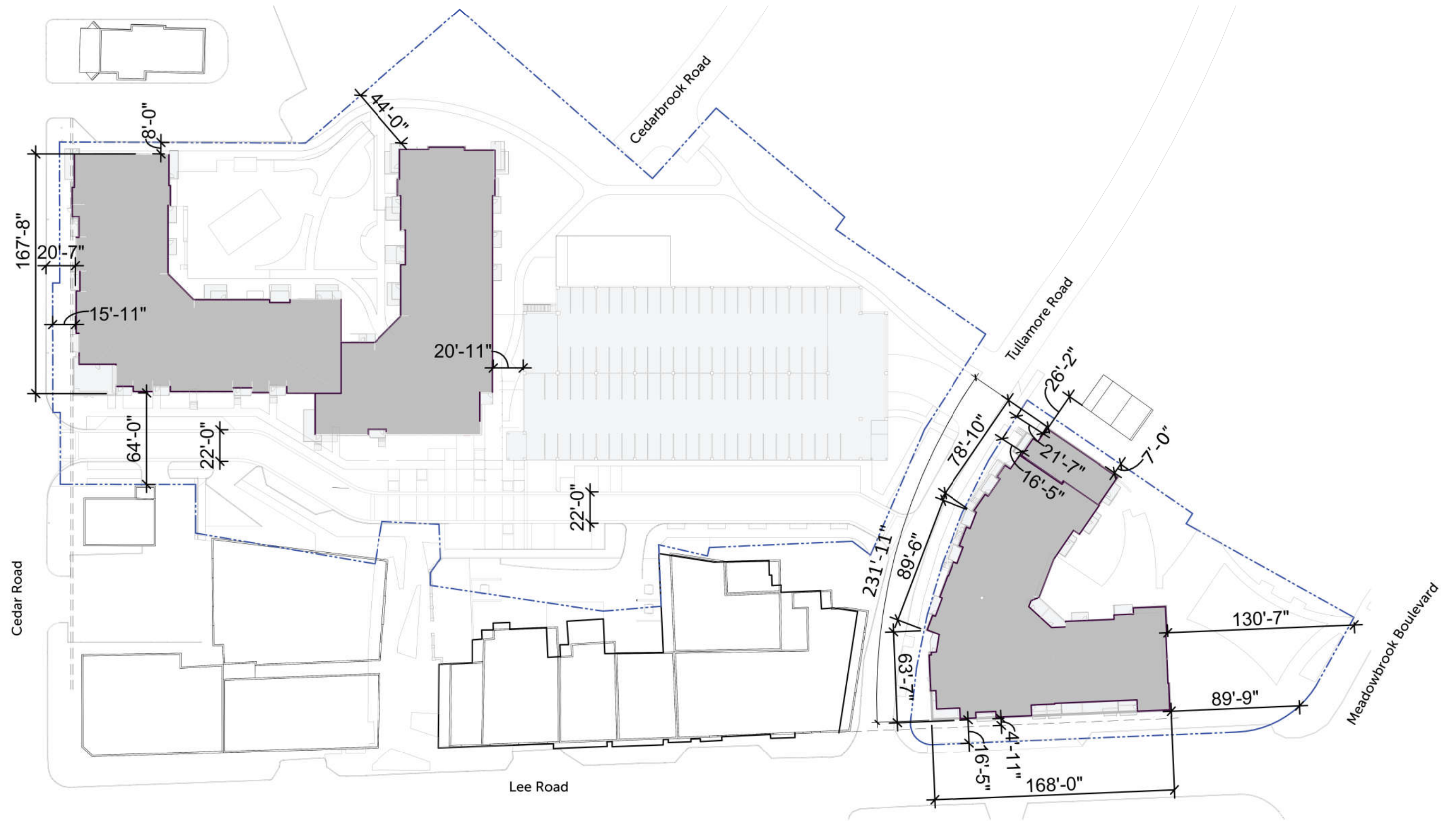
--- 50'-6" : ROOF COPING
--- 35'-11" : FOURTH FLOOR
--- 25'-0" : THIRD FLOOR
--- 14'-2" : SECOND FLOOR
--- 3'-0" : RESIDENTIAL
--- 0'-0" : RETAIL

Meadowbrook Boulevard Elevation



--- 50'-6" : ROOF COPING
--- 35'-11" : FOURTH FLOOR
--- 25'-0" : THIRD FLOOR
--- 14'-2" : SECOND FLOOR
--- 3'-0" : RESIDENTIAL
--- 0'-0" : RETAIL

Courtyard Elevation looking west





CEDAR LEE MEADOWBROOK | Zoning Code Variance Diagram



District Context Map



Building Corner Massing



A Upper Cleveland Heights High School



B At&T Building



C Lower Cleveland Heights High School



D District Parking Garage



E Cedar Lee Theatre



F 3241 Kildare Road

A UPPER CLEVELAND HEIGHTS HIGH SCHOOL
73'-0"

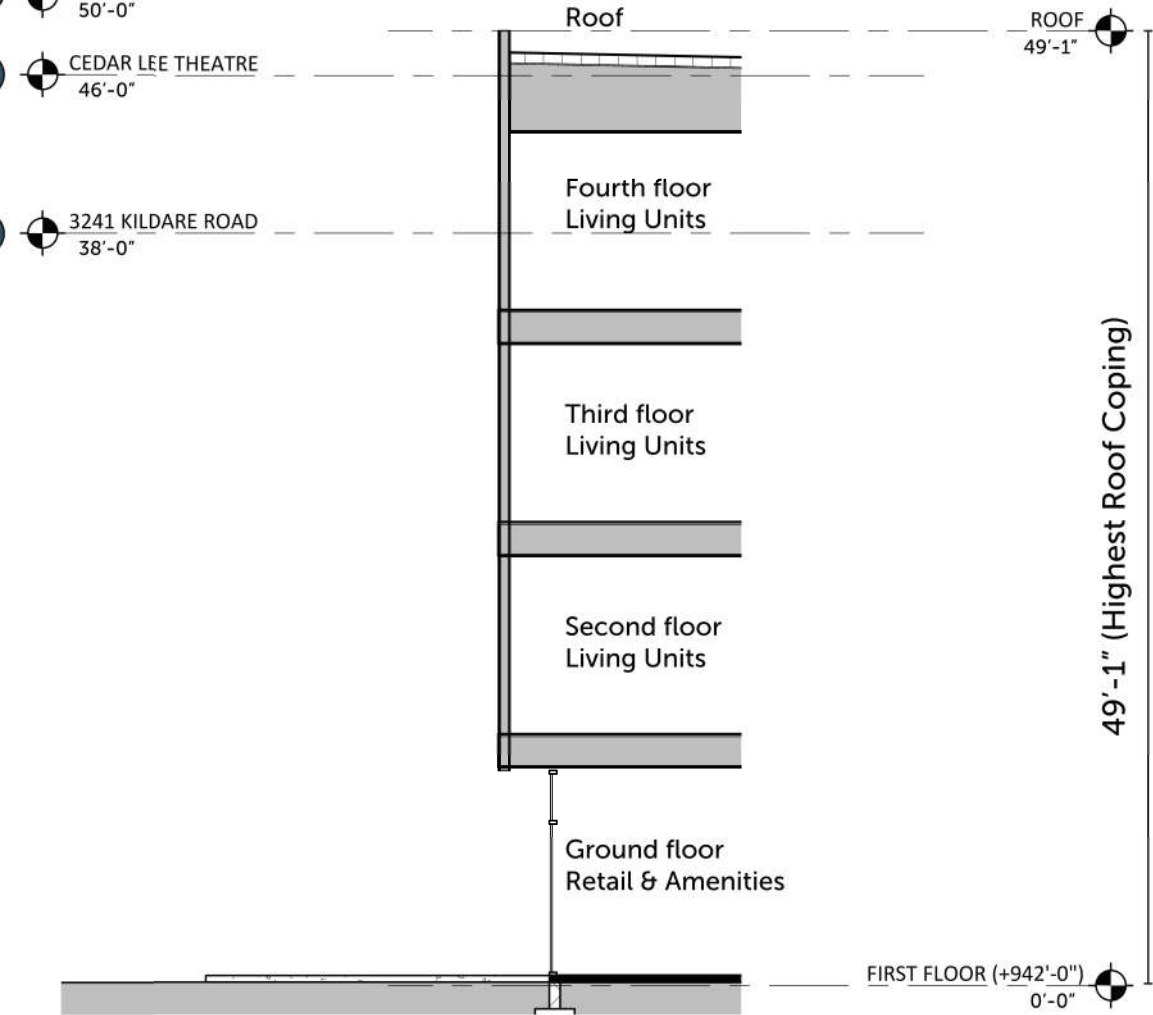
B AT&T BUILDING
56'-0"

C LOWER CLE. HTS. HIGH SCHOOL
53'-0"

D DISTRICT PARKING GARAGE
50'-0"

E CEDAR LEE THEATRE
46'-0"

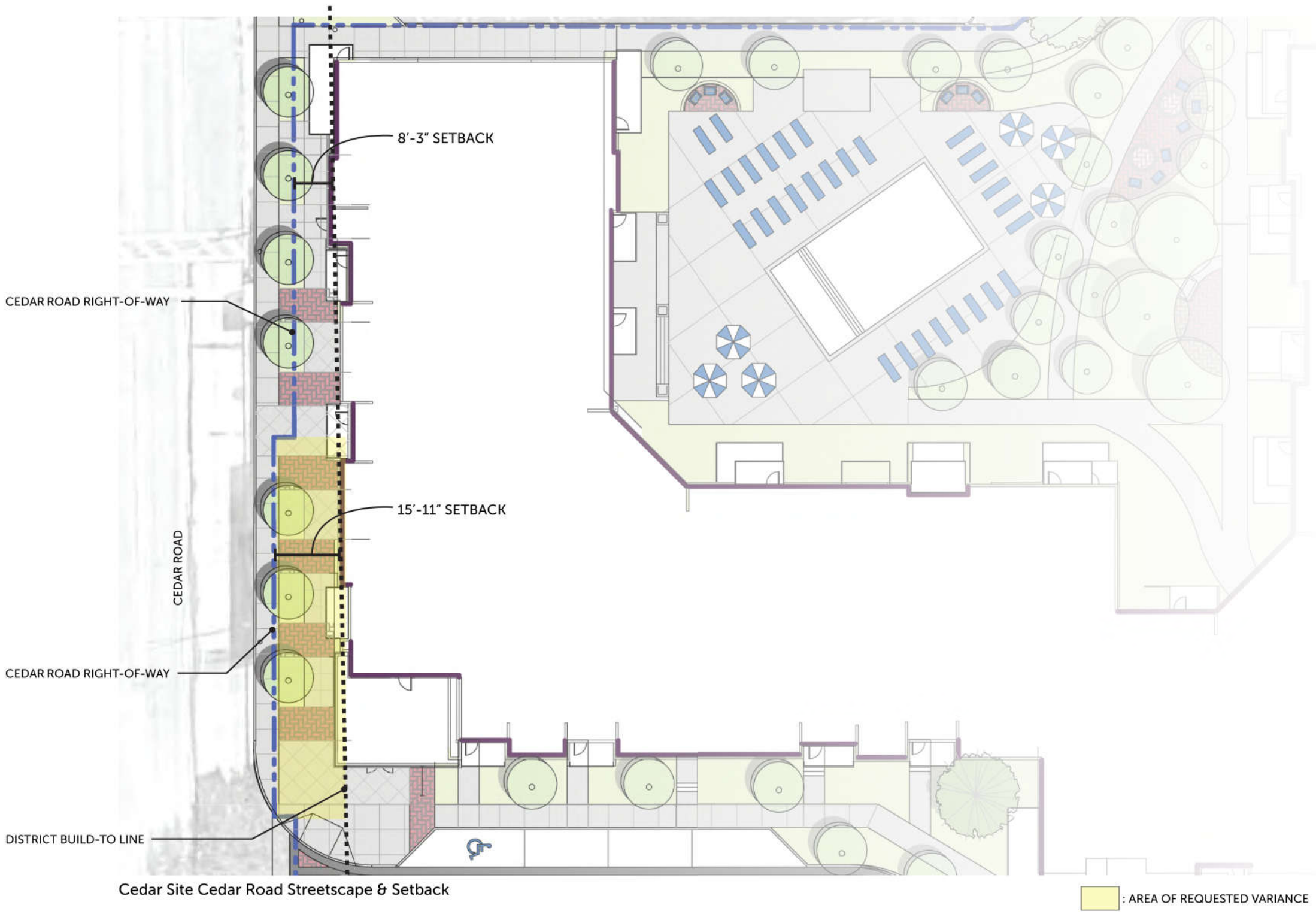
F 3241 KILDARE ROAD
38'-0"



Cedar Building Section



District Context Map





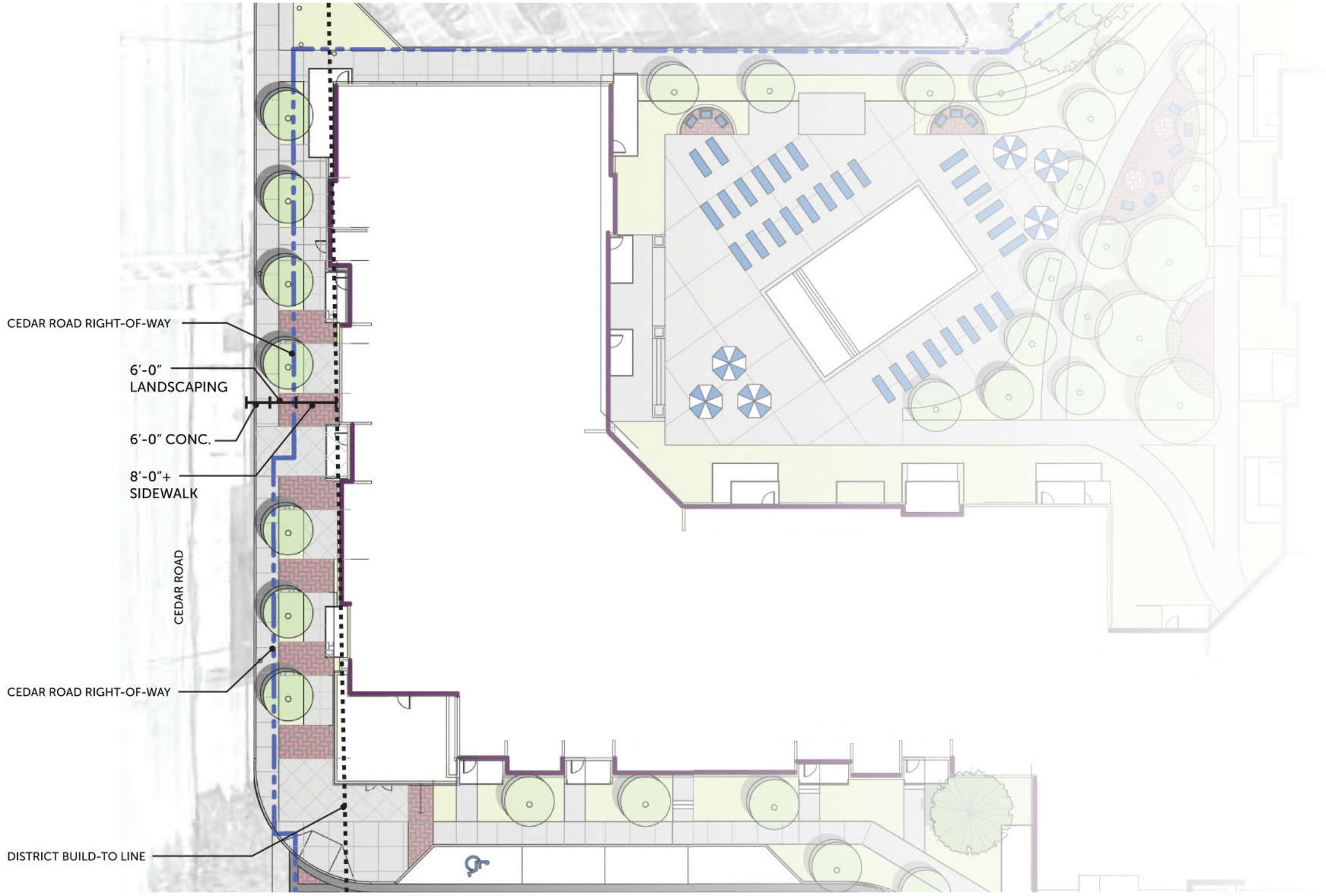
Layered streetscape design concept



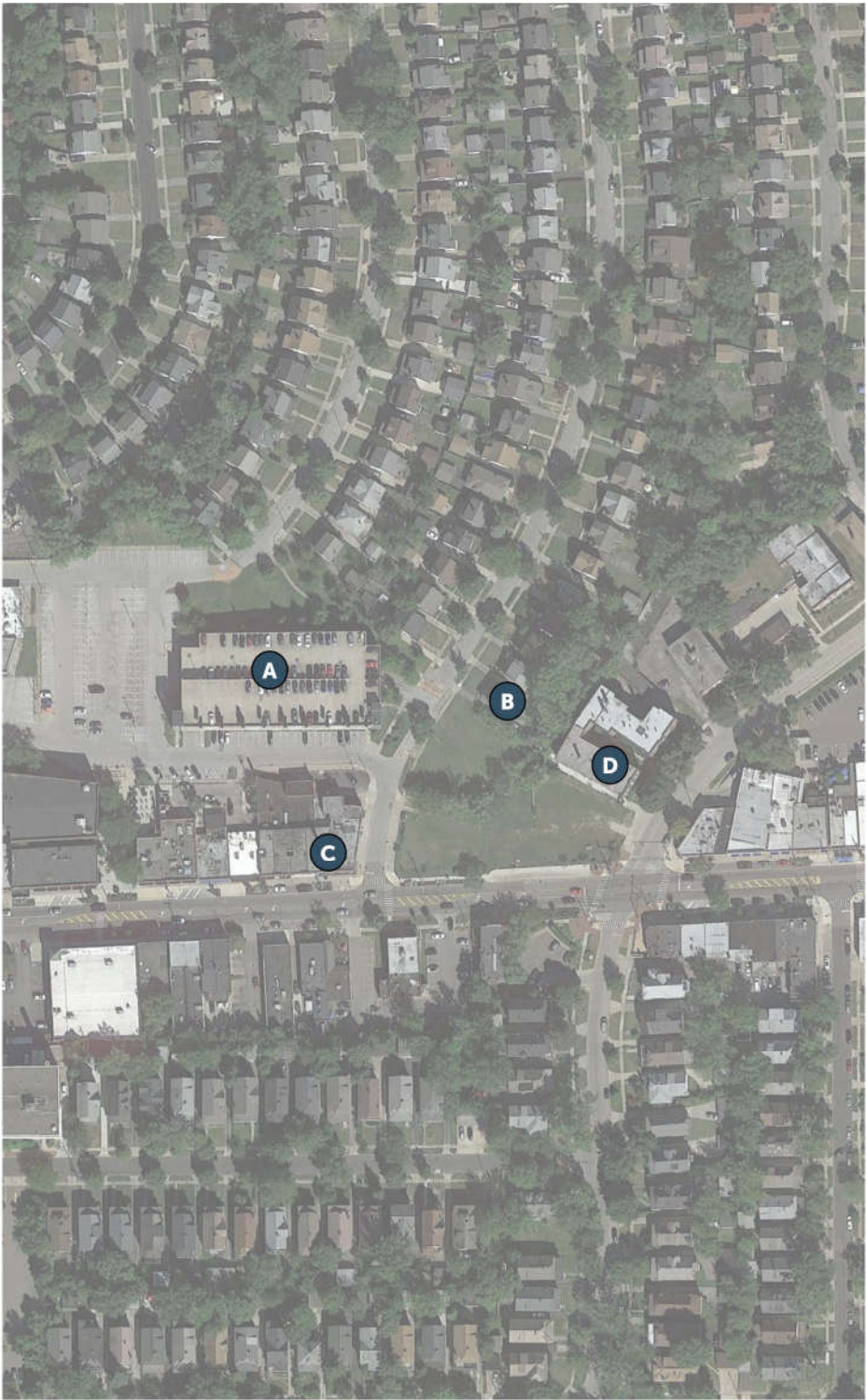
Layered streetscape design concept



Cedar Road adjacent streetscape condition



Cedar Site Cedar Road Streetscape & Setback



District Context Map



Tullamore Elevation
(shaded area denotes Tullamore elevation height exceeding 45' above grade)



A District Parking Garage



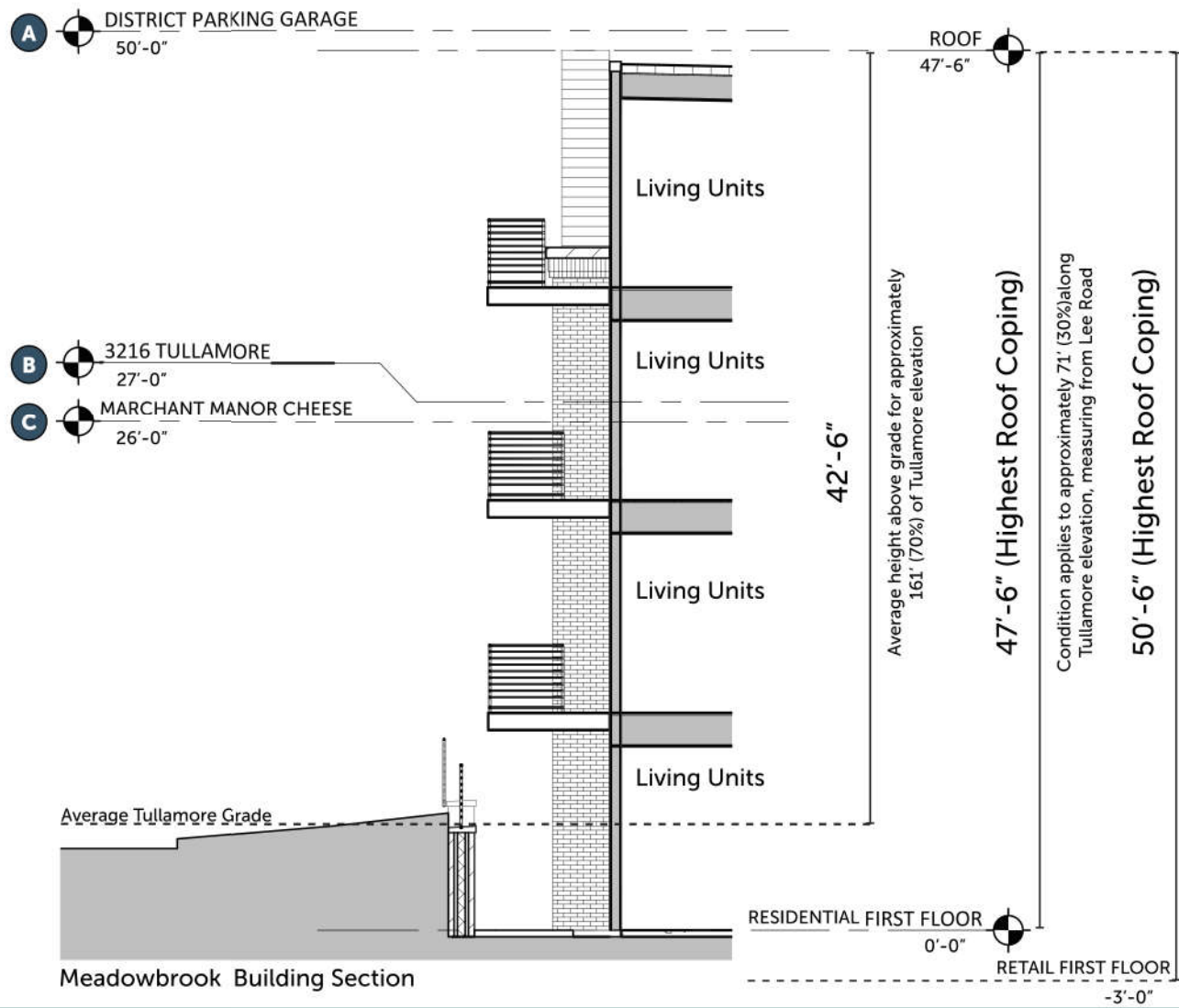
B 3216 Tullamore Road



C Merchant Manor Cheese



D 3207 Meadowbrook Boulevard

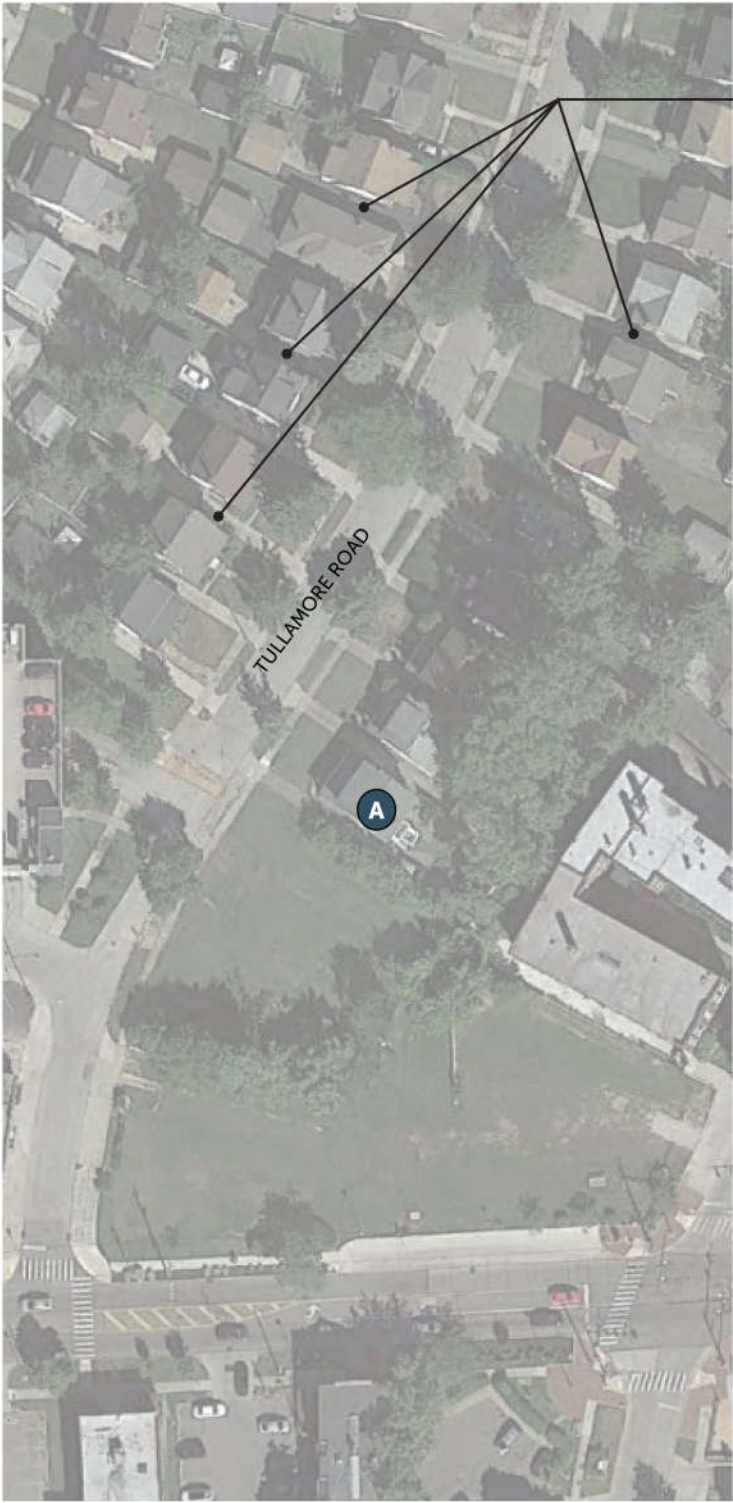




District Context Map



Meadowbrook Site Lee Road Streetscape & Setback



Tullamore Road District Map

Tullamore Road Average Distance between Homes is approximately 11' to 14'



A 3216 Tullamore Road



B Tullamore Road Elevation



Tullamore Road Rear Yard



Tullamore Elevation
(shaded area denotes Tullamore first floor elevation (rising due to grade))

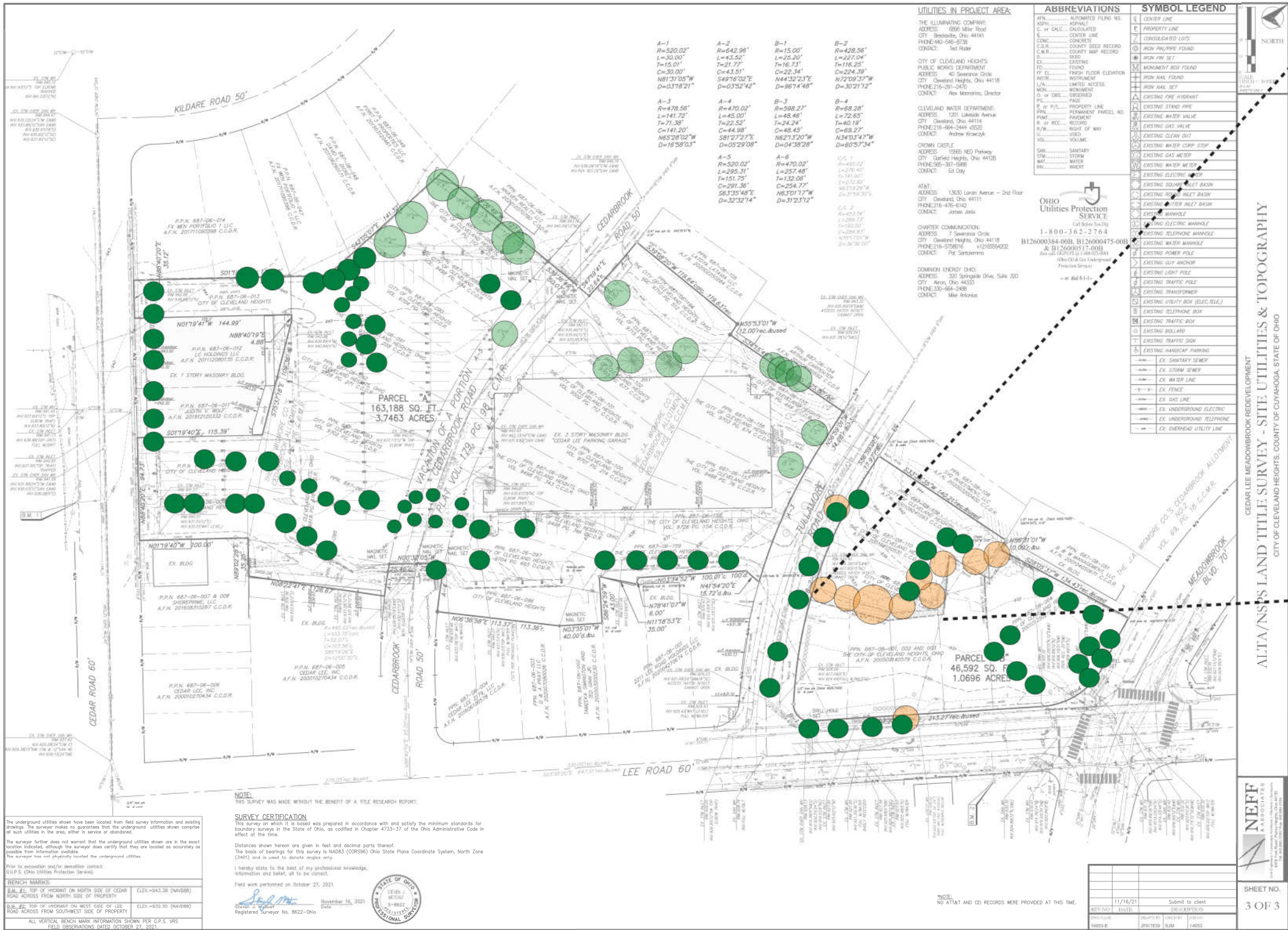
Street level window lineal frontage:
Total ground floor window lineal feet: 121.4'
Total building lineal frontage: 232'
Total window frontage percent: 52.3%



Lee Road outdoor dining and streetscape example the Wine Spot
(typical sidewalk width along this block is 18' +/-)



Meadowbrook Site Lee Road Streetscape & Setback



Meadowbrook Site Trees
Trees' health uncertain (assume healthy in relation to preservation plan)

- Drawing Key**
- EXISTING 6" CALIPER (OR LARGER) TREE TO BE REMOVED: 11 TREES (approx.)
 - EXISTING 6" CALIPER (OR LARGER) TREE TO REMAIN: 20 TREES (approx.)
 - PROPOSED NEW TREES: 84 TREES*
- *NOTE: ADDITIONAL LANDSCAPING WILL BE INSTALLED

