

ARCHITECTURAL ABBREVIATIONS

ABBREVIATIONS BELOW ARE APPLICABLE TO ALL ARCHITECTURAL, CIVIL, STRUCTURAL AND FINISH SERIES DRAWINGS.

AFF
ALUM
APPR
BC
BD
BLDG
C/C
CL
CLR
COL
CONC
CONT
C/C
CY
DEPT
DIA
DIM
DN
DWG
EA
ELEV
EW
EXIST

ABOVE FINISH FLOOR
ALUMINUM
APPROXIMATE
BRICK COURSE
BOARD
BUILDING
CENTER TO CENTER
CENTER LINE
CLEAR
COLUMN
CONCRETE
CONTINUOUS
CUBIC YARD
DEPARTMENT
DIAMETER
DIMENSION
DOWN
DRAWING
EACH
ELEVATION
EACH WAY
EXISTING

FBC
FBO
FIN
FP
FRT
GA
GALV
GYP
HT
HM
HORIZ
IBC
IBO
IN
LBS
MAX
MFR
MIN
MISC
MO

FURNISHED BY CONTRACTOR
FURNISHED BY OWNER
FINISH
FILLER PANEL
FIRE RETARDANT
TREATED WOOD
GAUGE
GALVANIZED
GYPSUM
HEIGHT
HOLLOW METAL
HORIZONTAL
INSTALLED BY CONTRACTOR
INSTALLED BY OWNER
INCHES
POUNDS
MAXIMUM
MANUFACTURER
MINIMUM
MISCELLANEOUS
MASONRY OPENING

NA
NIC
NO
NTS
OC
PSI
R
REQ
RO
SHT
SIM
SPEC
T
T & G
THK
TOM
TOS
TYP
UNO
VERT
W
WITH

NOT APPLICABLE
NOT IN CONTRACT
NUMBER
NOT TO SCALE
ON CENTER
POUNDS PER SQUARE INCH
RISER
REQUIRED
ROUGH OPENING
SHEET
SIMILAR
SPECIFICATIONS
TREAD
TONGUE & GROOVE
THICK
TOP OF MASONRY
TOP OF STEEL
TYPICAL
UNLESS NOTED OTHERWISE
VERTICAL
WIDE
WITH

WARNING!
ASBESTOS HAZARD

GENERAL NOTES

THIS PROJECT AREA MAY CONTAIN ASBESTOS MATERIALS USED FOR FIREPROOFING AND INSULATION. THE CONSTRUCTION AREA HAS BEEN CLEARED OF THESE MATERIALS PRIOR TO COMMENCEMENT OF WORK. ASBESTOS MAY BE ENCOUNTERED IN THE COURSE OF NEW WORK OR DEMOLITION ACTIVITIES. IF ANY MATERIAL IS UNCOVERED WHICH IS SUSPECTED TO CONTAIN ASBESTOS, CEASE WORK & NOTIFY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL POST OSHA APPROVED SIGNS WHICH WILL REMAIN IN PLACE, ALERTING THE TRADESMEN TO THE HAZARDOUS CONDITION.

1. THE VARIOUS DRAWINGS COMPRISING THIS SET OF DRAWINGS ARE INTERDEPENDENT AND MUST BE USED JOINTLY TO EXECUTE THE WORK.
2. WHERE DISCREPANCIES OCCUR BETWEEN FLOOR PLANS, DETAILS AND LARGER SCALE PLANS, CONTRACTOR SHALL CONSULT THE ARCHITECT FOR CLARIFICATION. WHERE DISCREPANCIES OCCUR BETWEEN ARCHITECTURAL AND ALL OTHER DRAWINGS, CONTRACTOR SHALL CONSULT THE ARCHITECT FOR INTERPRETATIONS.
3. MECHANICAL, ELECTRICAL AND STRUCTURAL WORK IS INDICATED ON THE HVAC, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS. CONTRACTORS MUST REFER TO ALL ARCHITECTURAL SERIES DRAWINGS, AS WELL AS MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS, WHEN INSTALLING MECHANICAL, ELECTRICAL AND STRUCTURAL WORK.
4. DO NOT SCALE THE DRAWINGS. IF QUESTIONS ARISE, CONTACT THE ARCHITECT FOR CLARIFICATION.
5. EXISTING BUILDING INFORMATION IS BASED ON ORIGINAL CONSTRUCTION DOCUMENTS AND IS NOT INTENDED TO REPRESENT EXISTING "AS-BUILT" CONDITIONS. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS.

ARCHITECTURAL MATERIALS LEGEND

ROUGH WOOD

TACK SURFACE

PLYWOOD

CONCRETE

FINISH WOOD

CONCRETE BLOCK

GYPSUM BOARD

STEEL

BRICK

RIGID INSULATION

EARTH

GRAVEL

ARCHITECTURAL LEGEND

NOTE: REFER TO INDIVIDUAL DRAWING LEGENDS FOR ADDITIONAL SYMBOLS.

REFER TO PROJECT MANUAL AND/OR SCHEDULES WHEN MULTIPLE TYPES OF AN ITEM OCCUR (FEC-1, FEC-2, ETC.). ALL ITEMS INDICATED MAY NOT BE INCLUDED IN THE PROJECT SCOPE. REFER TO DRAWINGS FOR SPECIFIC INSTANCES.

ARCHITECTURAL ITEM DESIGNATIONS

AG
AD
APC
CA
CB
CC
CCJS
CG
CH
CJ
CMU
TV
CONCRETE MASONRY UNIT
CP
CPS
CR
CWJS
DCT
DP
DS
EU
EWG
EWJS

ACCESS GROMMET
ACCESS DOOR
ACOUSTICAL PANEL CEILING
COUNTER SUPPORT ANGLE
CHALKBOARD
CUBICLE CURTAIN
CEILING-TO-CEILING JOINT
CORNER GUARD
COAT HOOK
CONTROL JOINT
CEILING MOUNTED
TELEVISION BRACKET
CEILING MOUNTED
PROJECTOR
CEILING MOUNTED PROJECTION SCREEN
COAT ROD
WALL-TO-CEILING JOINT
SYSTEM
DIAPER CHANGING STATION
DECORATIVE PANEL
DOWNPOUT
EXPANSION JOINT
END-WALL GUARD
ARCHITECTURAL JOINT - EXTERIOR WALL

F
FE
FEC
FFJS
FG
FSS
FT
FWJS
FWJS
GB
GF
HC
HR
IG
ISOLATION JOINT
ISS
LG
M
MB
MOP AND BROOM HOLDER
ML
PPH
PP

HANGING FILE RAILS (FILE DRAWER)
FIRE EXTINGUISHER
FIRE EXTINGUISHER
FLOOR-TO-FLOOR JOINT
SYSTEM
FOLDING SHOWER SEAT
FRAME OR WINDOW TYPE
FLOOR-TO-WALL JOINT
SYSTEM
FLOOR-COVERED WALL
GRAB BAR
GLAZING FILM
HOSE CABINET
IMPACT-RESISTANT HANDRAIL
INSULATED GLAZING UNIT
ISOLATION JOINT
INFANT SAFETY SEAT
UNDER LAVATORY GUARD
MIRROR UNIT
MARKERBOARD
MOP AND BROOM HOLDER
METAL LOCKER
PHENOLIC CORE PANEL
AUTOMATIC DOOR PUSH PLATE

RH
HC
HR
IG
ISOLATION JOINT
ISS
SAP
SC
SCD
SCR
SCU
SD
SFS
SGA
SND
SND
TACKBOARD
TK
TD
TPD
TWB
WMT
WG
WP
WR
WT

ROBE HOOK
HOSE CABINET
IMPACT-RESISTANT HANDRAIL
INSULATED GLAZING UNIT
ISOLATION JOINT
INFANT SAFETY SEAT
SOUND ABSORBING WALL
PANEL
SHOWER CURTAIN
SEAT COVER DISPENSER
SHOWER CURTAIN ROD
SCUPPER
SOAP DISPENSER
STOREFRONT SYSTEM
SLIDING GLASS ASSEMBLY
SANITARY NAPKIN
DISPOSAL UNIT
SANITARY NAPKIN
DISPENSER
TACKBOARD
TACK SURFACE
PAPER TOWEL DISPENSER
TOILET TISSUE
DISPENSER
TOWEL BAR
WIRE MANAGEMENT TRAY
WALL GUARD
IMPACT-RESISTANT WALL COVERING
WASTE RECEPTACLE
WOOD TRIM

ARCHITECTURAL ITEM DESIGNATIONS- HEALTHCARE

BL
BPC
CCT

BED LOCATOR
BED PAN AND URINAL CABINET
CUBICLE CURTAIN TRACK

IH
IWT
LA

IV HOOKS
IV TRACK AND CARRIER
LEAD APRON HOLDER

SB
SPTC

SOAP BLENDER
SPECIMEN PASS-THROUGH CABINET

FINISHES DESIGNATIONS

C
CB
CT
CTB
CTT
FCB
GT

CARPET
CARPET BASE
CERAMIC TILE
CERAMIC TILE BASE
CERAMIC TILE TRIM
FLASH COVE BASE
GROUT

L
P
PL
QT
RB
RS
RT

LINOLEUM
PAINT
PLASTIC LAMINATE
QUARRY TILE
RESILIENT BASE
RESILIENT SHEET
RUBBER TILE

SCN
SS
ST
TC
TS
VT
WR
WD

SEALED CONCRETE
SOLID SURFACE
STAINLESS STEEL
TILE CARPET
TRANSITION STRIP
VINYL COMPOSITE TILE
WELDED ROD
WOOD

REFERENCE ITEM DESIGNATIONS

THE FOLLOWING ITEMS MAY APPEAR ON ARCHITECTURAL SERIES DRAWINGS FOR REFERENCE. REFER TO OTHER DISCIPLINE SERIES FOR MORE SPECIFIC INFORMATION (CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.).

AHU
CO
CRS
CUH
DI
EP
ET
EWG
EWS

AIR HANDLER UNIT
CLEAN OUT
CARD READER STATION
CABINET UNIT HEATER
DEIONIZED WATER MONITOR
ELECTRICAL PANEL
ELAPSED TIME CLOCK SYSTEM
ELECTRIC WATER COOLER
EYE WASH STATION

FD
FVDC
FVC
HB
IP
MGA
MGV
MH

FLOOR DRAIN
FIRE DEPARTMENT VALVE
CABINET
FIRE VALVE CABINET
HOSE BIB
ISOLATION PANEL
MEDICAL GAS ALARM
MEDICAL GAS ZONE VALVE
MAN HOLE

RD
RT
UH
UT
ZVB

ROOF DRAIN
REAL TIME CLOCK SYSTEM
STAND PIPE
UNIT HEATER
ZONE VALVE BOX

1

1A

SSS

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ANCHOR

HEALTH PROPERTIES

MetroHealth

METRO HEALTH

BEHAVIORAL HEALTH

HOSPITAL

10 SEVERANCE CIRCLE

CLEVELAND HEIGHTS, OH 44118

BOARD OF CONTROLS REVIEW SET

PROJECT NUMBER - 20032.201

ISSUE DATE: 02/10/2021

OWNER

THE METROHEALTH SYSTEM

2500 METROHEALTH DRIVE, SUITE SG-120 - CLEVELAND OH, 44109

STRUCTURAL ENGINEER

THORSON BAKER & ASSOCIATES

3030 W. STREETSBORO ROAD - RICHFIELD, OH 44286

DEVELOPER

ANCHOR HEALTH PROPERTIES

330 MALLORY STATION ROAD, SUITE D-11 - FRANKLIN, TN 37067

MEPT ENGINEER

KARPINSKI ENGINEERING

13714 CLEVELAND AVENUE, NW - UNIONTOWN, OH 44685

ARCHITECT

HASENSTAB ARCHITECTS, INC.

190 N. UNION STREET, SUITE 400 - AKRON, OHIO 44304

CIVIL ENGINEER

WOHLWEND ENGINEERING GROUP

4216 KARG INDUSTRIAL PARKWAY - KENT, OH 44240

CONSTRUCTION MANAGER

AM HIGLEY

3636 EUCLID AVENUE - CLEVELAND, OH 44115

PROJECT INTENT

THE PROJECT INTENT IS TO COMPLETE ALTERATION WORK TO THE _____ FLOOR OF _____ BUILDING. THE INTENT IS TO LIMIT PRIMARY ALTERATION WORK TO THE PROJECT AREAS AS DEFINED BY THE CONSTRUCTION DOCUMENTS AND TO PROVIDE ADDITIONAL LIMITED INFRASTRUCTURE IMPROVEMENTS TO AREAS OUTSIDE THE PROJECT AREA, WITH NO CHANGE IN THE USE OR CONSTRUCTION CLASSIFICATION. THERE ARE NO ADDITIONS WHICH MODIFY THE EXISTING BUILDING AREA, OCCUPANCIES, OR USES. ALL NEW WORK PERFORMED SHALL COMPLY WITH CURRENT BUILDING CODES AND REGULATIONS, HOWEVER, THE PROJECT INTENT IS NOT TO BRING ALL STRUCTURES INTO COMPLIANCE WITH CURRENT BUILDING CODES WHERE NO NEW WORK IS BEING PERFORMED. THIS WORK RECONFIGURES AND DOES NOT INTEND TO ADD OCCUPANT LOAD.

THE PROJECT SCOPE SHALL BE LIMITED TO ALTERATION WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS. ALTERATION WORK AND IMPROVEMENTS WITHIN THE PROJECT AREA INCLUDE, BUT SHALL NOT BE LIMITED TO, THE FOLLOWING SYSTEMS: HVAC, PLUMBING, FIRE SUPPRESSION, FIRE ALARM, NORMAL POWER, EMERGENCY POWER, DATA AND COMMUNICATION, LIGHTING, INTERIOR PARTITIONS, DOORS AND HARDWARE, AND INTERIOR FINISHES.

BUILDING CODE DATA

BUILDING PERMIT JURISDICTIONCITY OF CLEVELAND HEIGHTS

BUILDING CODE JURISDICTION

2017 OHIO BUILDING CODE

2017 OHIO MECHANICAL CODE

2017 OHIO PLUMBING CODE

2017 NATIONAL ELECTRIC CODE

2015 IFGC

2009 ICGA117.1

2010 NFPA 13

2017 NFPA 72

RISK CATEGORY

III

FIRE SUPPRESSION

FULLY SUPPRESSED

SEISMIC DESIGN CATEGORY

C

SEISMIC DESIGN SITE CLASS

D

SEISMIC IMPORTANCE FACTOR

1.25

SNOW IMPORTANCE FACTOR

1.10

WIND IMPORTANCE FACTOR

1.15

ASSUMPTIONS

CHAPTER 3

USE GROUP CLASSIFICATION

I-2

I-2 : INSTITUTIONAL GROUP

OCCUPANCY CONDITIONS : CONDITION 2

CHAPTER 5

HEIGHT

ALLOWABLE BUILDING HEIGHT (504.3)

85 FEET

ALLOWABLE NUMBER OF STORIES (504.4)

5

ACTUAL BUILDING HEIGHT

55 FEET

ACTUAL BUILDING STORIES

3

AREA

ALLOWABLE AREA FACTOR (506.2)

X.XXX SF

% INCREASE FOR FRONTAGE (506.3.3)

XX%

ALLOWABLE AREA PER STORY

45,000 SF

ALLOWABLE BUILDING AREA

XX SF

ACTUAL AREAS

FIRST FLOOR

26,818 SF

SECOND FLOOR

26,964 SF

THIRD FLOOR

25,401 SF

TOTAL BUILDING

79,183 SF

CHAPTER 6

CONSTRUCTION TYPE

II-A

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

TABLE 601

HOUR RATING

UL ASSEMBLY

PRIMARY STRUCTURAL FRAME

COLUMNS

1

?

MEMBERS SUPPORTING FLOOR

1

?

MEMBERS SUPPORTING ROOFS

1

?

BEARING WALLS

EXTERIOR

1

?

INTERIOR

1

?

NONBEARING WALLS AND PARTITIONS

EXTERIOR WALLS SEPARATED < 30'

1

?

FLOOR CONSTRUCTION

AND SECONDARY MEMBERS

1

?

ROOF CONSTRUCTION

AND SECONDARY MEMBERS

1

?

CHAPTER 8

INTERIOR WALL AND CEILING FINISH FLAME SPREAD

AND SMOKE-DEVELOPED INDEX REQUIREMENTS: TABLE 803.11

EXIT STAIRWAYS, EXIT RAMPS,

& EXIT PASSAGEWAYS

CLASS B

(FS: 26-75, SD: 0-450)

CORRIDORS AND ENCLOSERS

FOR EXIT ACCESS STAIRWAYS

AND EXIT ACCESS RAMPS

CLASS B/C

(FS: 26-75, SD: 0-450)

ROOMS AND ENCLOSED SPACES

CLASS B/C

(FS: 26-75, SD: 0-450)

*CLASS C PERMITTED IN I-2 ADMINISTRATION SPACES

CHAPTER 10

I-2 LOAD FACTOR = 120

MAXIMUM DESIGN OCCUPANT LOAD AND REQUIREMENTS

LEVEL

OCCUPANTS

EXITS REQUIRED

EXITS PROVIDED

FIRST FLOOR

224

2

5

SECOND FLOOR

225

2

4

THIRD FLOOR

212

2

3

REQUIRED

PROVIDED

EXIT LENGTH

<200'

<200'

CORRIDOR WIDTH

6' - 0"

>6' - 0"

EXIT DOOR WIDTH

32"

40"

ZONING DATA

ADDRESS

10 SEVERANCE CIRCLE, CLEVELAND HTS

JURISDICTION

CITY OF CLEVELAND HEIGHTS

SIGNAGE PERMIT BY:

CITY OF CLEVELAND HEIGHTS

USE GROUP

HOSPITAL

ZONING DISTRICT:

S-1

FLOOD PLAIN:

NO

PARKING

REQUIRED

700

PROVIDED

404

BUILDING SETBACKS

FRONT

SIDES

REAR

REQUIRED

40'

0'

150'

PROVIDED

297'

73'

234'

UTILITIES

SANITARY

CITY OF CLEVELAND HEIGHTS

STORM

CITY OF CLEVELAND HEIGHTS

WATER

CITY OF CLEVELAND HEIGHTS

ELECTRICITY

TO BE DETERMINED

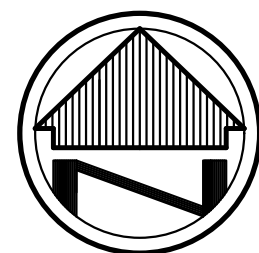
GAS

TO BE DETERMINED

PHONE

TO BE DETERMINED

DRAWING INDEX		ISSUES / REVISIONS	
COVER	COVER SHEET	A	01/25/21 SD REVIEW SET
C1.0	OVERALL SITE PLAN	B	02/10/21 BOC SUBMISSION
C2.0	EXISTING CONDITIONS PLAN		
C3.0	SITE PLAN		
C4.0	UTILITY PLAN		
C5.0	GRADING PLAN		
SD-1	SITE DEVELOPMENT PLAN		
N/A	SITE PHOTOMETRIC LIGHTING PLAN		
A0-1	LEVEL 1 & 2 LIFE SAFETY PLANS		
A0-4	SAFETY PLANS		
A2-1	NEW ADDITION FLOOR PLANS		
A2-3	LEVEL 2 - ED & MOB FLOOR PLANS		
A4-0	PRELIMINARY CONCEPT RENDERINGS		
A4-0.1	SITE CONTEXT PHOTOS		
A4-1	EXTERIOR ELEVATIONS		
A5-1	BUILDING SECTIONS		
LOCATION MAP		PROJECT AREA	
COVER SHEET		COVER	



0' 50' 100' 150'

Scale: 1" = 50'

BASIS OF BEARINGS

THE BASIS FOR BEARINGS IS THE CENTERLINE OF SEVERN ROAD, BEARING NORTH 89°38'40" WEST, BASED UPON SEVERANCE ESTATE SUBDIVISION NO. 2, PLAT VOL. 137 PG. 1 AND IS TO AN ASSUMED MERIDIAN USED TO DENOTE ANGLES ONLY.

BENCHMARK NO. 1

FINISHED FLOOR OF EXISTING BUILDING AT THE EASTERLY ENTRANCE WAS USED AS DATUM BENCHMARK

ELEV. 984.35, FROM RECORD.

BENCHMARK NO. 2

MAGNAIL SET IN FRONT WALKWAY NE OF MHSA 37.

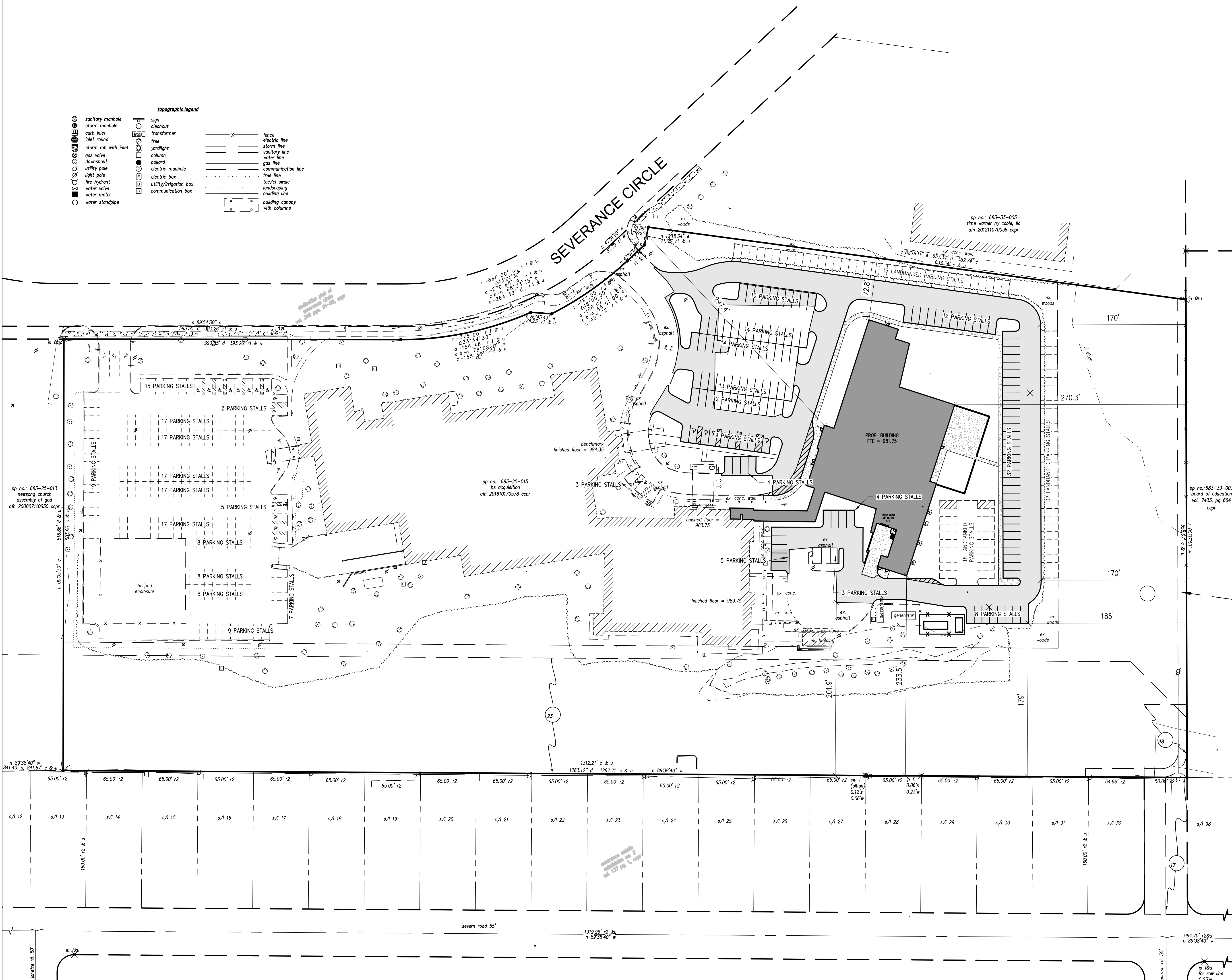
ELEV. 976.25

BENCHMARK NO. 3

MAGNAIL SET IN ASPHALT OF EASTERLY PARKING LOT, 20' NE OF INS 10 WALKWAY NE OF MHSA 37.

ELEV. 978.25

topographic legend	
	sanitary manhole
	storm manhole
	curb inlet
	inlet round
	storm mh with inlet
	gas valve
	downspout
	utility pole
	light pole
	fire hydrant
	water valve
	water meter
	water standpipe
	sign
	cleanout
	transformer
	tree
	yardlight
	column
	bollard
	electric manhole
	electric box
	fire hydrant
	water valve
	water meter
	water standpipe
	fence
	electric line
	storm line
	sanitary line
	water line
	gas line
	communication line
	tree line
	top of grade
	landscaping
	building line
	building canopy with columns



SITE INFORMATION	CODE SECTION	REQUIRED	PROPOSED (SHOWN)	COMPLIANCE STATUS
ZONING AUTHORITY	N/A	CITY OF CLEVELAND HEIGHTS		
ZONING CLASSIFICATION	ZONING MAP	S-1 MIXED USE	S-1 MIXED USE	COMPLIANT
LAND USE	1143.02 and Schedule 1331.02	HOSPITAL	HOSPITAL	COMPLIANT
MAX. BUILDING HEIGHT	1143.04(b)	35'	21'-0"±	COMPLIANT
BUILDING SETBACKS	1143.04(c)(1)	1/2 THE DISTANCE TO THE A DISTRICT = 116.95'	SEE ARCHITECTURAL PLANS	COMPLIANT
FRONT	1143.04(c)(1)	40'	297.4'	COMPLIANT
SIDE	1143.04(c)(3)	150' AGAINST A OR AA DISTRICT 0' OTHERWISE	270.3'	COMPLIANT
REAR	1143.04(c)(3)	150' AGAINST A OR AA DISTRICT 0' OTHERWISE	233.9'	COMPLIANT
PARKING SPACES	1161.03	SEE PARKING TABLE BELOW		
ADA SPACES REQUIRED	ADA CODE	7 SPACES REQUIRED IN NEW LOT	3 EXISTING + 8 PROPOSED = 11	COMPLIANT
PARKING STALL DIMENSIONS	1161.11(a)	9' x 20'	9' x 20'	COMPLIANT
DRIVE WIDTH	1161.11(c)	22'	24'	COMPLIANT
PARKING SETBACK	1143.04(c)(2)	40'	104.4'	COMPLIANT
FRONT	1143.04(c)(3)	150' AGAINST A OR AA DISTRICT 0' OTHERWISE	150'	COMPLIANT
SIDE	1143.04(c)(3)	150' AGAINST A OR AA DISTRICT 0' OTHERWISE	6'	COMPLIANT
REAR	1143.04(c)(3)	150' AGAINST A OR AA DISTRICT 0' OTHERWISE	178.1'	COMPLIANT
INTERIOR LANDSCAPING ISLANDS	1166.06(c)	1 ~ 125 SF ISLAND PER 10 STALLS	6'	COMPLIANT
INTERIOR LANDSCAPING AREA	1166.06(c)	10% OF PARKING AREA		COMPLIANT

PARKING SUMMARY			
PARKING REQUIREMENTS	CODE SECTION	REQUIRED	COMPLIANCE STATUS
OFFICE, MEDICAL OFFICE	1161.03(b)(1)	1 SPACE PER 300 SF OF FLOOR AREA = 462 SPACES	
HOSPITAL	1161.03(b)(3)	2 SPACES PER ROOM = 238 SPACES	
TOTAL		700 SPACES	REDUCTION REQUESTED
PARKING SHOWN			
		SHOWN	
NON-LANDBANKED PARKING		316 SPACES	
LANDBANKED PARKING		86 SPACES	
TOTAL PARKING SHOWN		402 SPACES	
MEDICAL OFFICE CALCULATIONS			
		FLOOR AREA	REQUIRED SPACES
LEVEL 1		57,820 SF	
LEVEL 2		53,250 SF	
LEVEL B		27,300 SF	
TOTAL		138,370 SF	462
HOSPITAL CALCULATIONS			
		ROOM COUNT	REQUIRED SPACES
EMERGENCY ROOM		59	118
BEHAVIORAL HOSPITAL		60	120
TOTAL			238
GRAND TOTAL			700



ANCHOR HEALTH PROPERTIES

METRO HEALTH BEHAVIORAL HEALTH HOSPITAL

PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 02/10/2021



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PROJECT NO.
20032.201

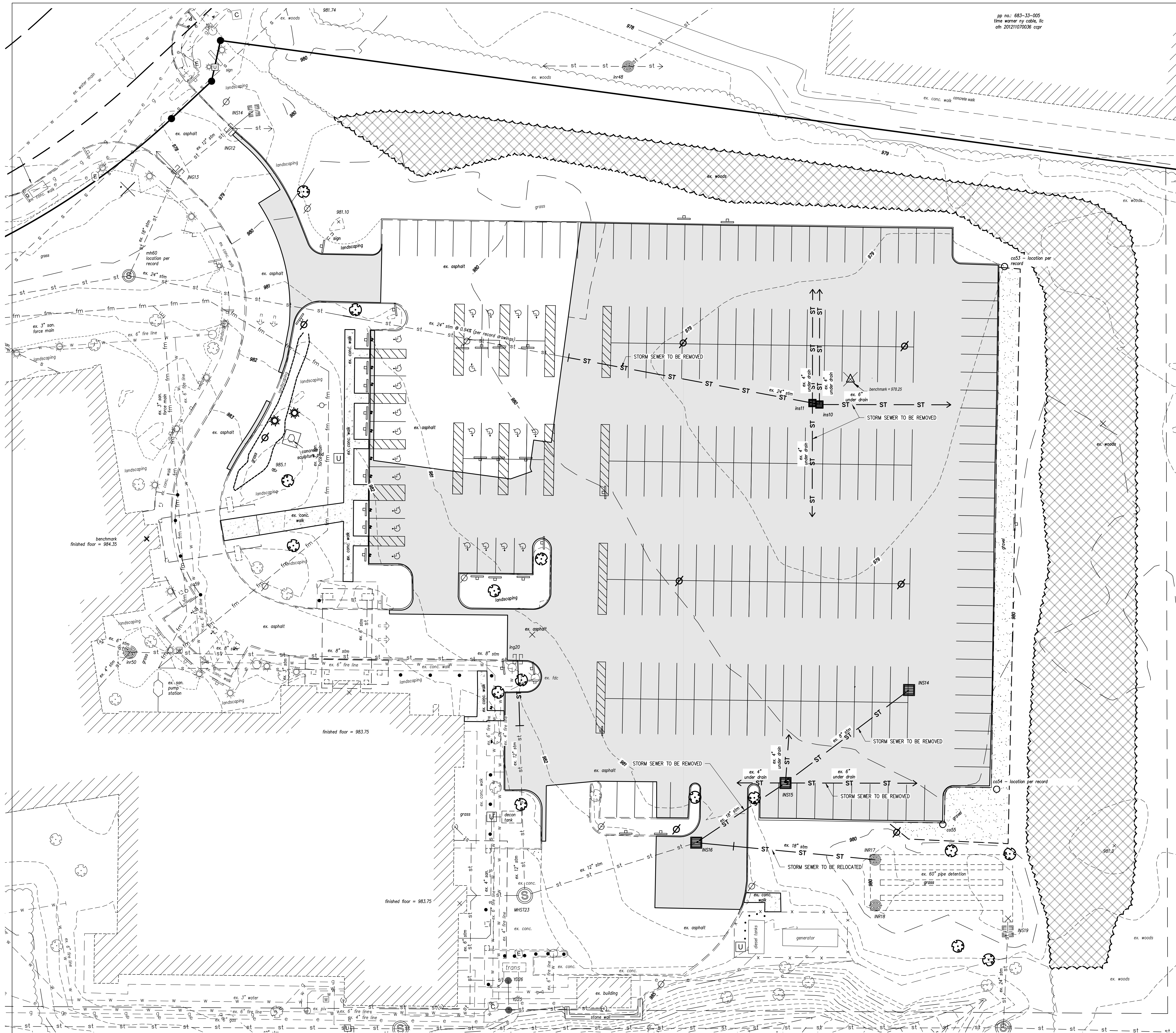
OVERALL
SITE PLAN

SCALE

C1.0



4216 KARG INDUSTRIAL PKWY KENT, OH 44240 (330) 673-2400	DRAWN: JLF CHECKED: MJM WEG PROJECT NO. 20200105
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SANITARY & STORM STRUCTURES			
Structure	Type	Rim Elev.	Inverts Observed
INS10	Inlet Square	977.35	N: 975.35 - 4" PVC
-	-	-	E: 975.05 - 6" PVC
-	-	-	W: 970.45 - 24" RCP
INS11	Inlet Square	977.34	N: 975.34 - 4" PVC
-	-	-	W: 975.34 - 4" PVC
-	-	-	S: 975.34 - 4" PVC
-	-	-	E: 972.44 - 24" RCP
-	-	-	W: 972.39 - 24" RCP
INS12	Gutter Inlet	977.58	NE: 975.58 - 4" PVC
-	-	-	E: 974.18 - 4" PVC
-	-	-	NE: 973.68 - 12" PVC
-	-	-	S: 973.68 - 6" PVC
INS13	Gutter Inlet	977.49	NW: 975.49 - 4" PVC
-	-	-	S: 975.49 - 4" PVC
-	-	-	W: 973.29 - 18" PVC
-	-	-	E: 973.19 - 18" PVC
INS14	Inlet Square	978.06	SW: 975.4 - 8" PVC
INS15	Inlet Square	978.59	N: 978.59 - 4" PVC
-	-	-	N: 977.99 - 4" PVC
-	-	-	E: 977.39 - 6" PVC
-	-	-	NNE: 976.04 - 6" PVC
-	-	-	NE: 975.59 - 6" PVC
-	-	-	SW: 973.94 - 18" PVC
INS16	Inlet Square	980.67	SW: 972.07 - 18" RCP
-	-	-	E: 972.82 - 18" PVC
INR17	Inlet Round	978.61	NW: 970.86 - 18" PVC
INS18	Inlet Square	978.78	Full - Unable to Identify Inverts
INS19	Inlet Square	979.36	N: 974.66 - 18" Steel
-	-	-	N: 972.28 - 6" PVC
-	-	-	S: 971.21 - 18" PVC
INS20	Gutter Inlet	980.87	S: 976.77 - 12" PVC
MHST21	MH Storm	981.53	N: 970.53 - 24" PVC
-	-	-	E: 968.53 - 48" RCP
-	-	-	W: 968.23 - 48" RCP
MHST22	MH Storm	982.83	NW: 968.33 - 48" Brick
-	-	-	SE: 968.48 - 48" Brick
MHST23	MH Storm	983.12	W: 978.02 - 12" PVC
-	-	-	N: 976.02 - 12" PVC
-	-	-	E: 975.97 - 12" PVC
MHST24	MH Storm	983.80	E: 967.05 - 48" Brick
-	-	-	W: 967.00 - 48" Brick
YD25	Yard Drain	983.36	N: 981.01 - 6" PVC
-	-	-	E: 980.96 - 6" PVC
YD26	Yard Drain	983.36	W: 978.16 - 6" PVC
-	-	-	E: 967.99 - 4" PVC
INS27	Inlet Square	969.99	W: 968.09 - 4" PVC
-	-	-	S: 964.04 - 12" VCP
-	-	-	E: 963.29 - 6" PVC
-	-	-	S: 960.34 - 12" VCP
-	-	-	N: 959.89 - 12" VCP
INS28	Inlet Square	970.04	S: 968.04 - 4" PVC
-	-	-	W: 967.84 - 4" PVC
-	-	-	N: 967.54 - 6" PVC
-	-	-	E: 965.14 - 12" PVC
INS29	Inlet Square	970.00	N: 967.90 - 4" PVC
-	-	-	W: 967.40 - 6" PVC
-	-	-	S: 966.00 - 12" PVC
-	-	-	E: 960.80 - 12" VCP
-	-	-	N: 960.50 - 12" VCP
INS30	Inlet Square	970.06	W: 968.06 - 4" PVC
-	-	-	E: 968.06 - 4" PVC
-	-	-	S: 967.46 - 6" PVC
-	-	-	N: 966.06 - 12" PVC
INS31	Inlet Square	972.42	E: 963.32 - 12" VCP
-	-	-	NW: 963.22 - 12" VCP
MHST32	MH Storm	976.00	E: 964.85 - 48" Brick
INS33	Curb Inlet	973.11	W: 969.81 - 6" PVC
-	-	-	E: 967.31 - 12" PVC
MHSA34	MH Sanitary	973.57	W: 968.47 - 12" PVC
-	-	-	S: 961.37 - 12" VCP
-	-	-	E: 956.57 - 36" Brick
-	-	-	NE: 956.37 - 36" Brick
MHST35	MH Storm	975.90	Full - Unable to identify Inverts
MHST36	MH Storm	975.86	E: 972.36 - 12" VCP
-	-	-	W: Unable to Observe
-	-	-	N: 967.46 - 12" VCP
MHSA37	MH Sanitary	976.09	N: 967.49 - 12" VCP
-	-	-	S: 964.59 - 36" RCP
-	-	-	W: 962.49 - 36" RCP
-	-	-	E: Unable to Measure - Clogged
MHST38	MH Storm	975.49	SE: 971.29 - 12" RCP
-	-	-	W: 968.99 - 12" PVC
-	-	-	SW: 968.99 - 12" PVC
-	-	-	E: 965.09 - 12" RCP
INS39	Inlet Square	971.74	NE: 969.74 - 4" PVC
-	-	-	E: 968.34 - 4" PVC
-	-	-	NE: 967.84 - 12" PVC
-	-	-	S: 967.84 - 6" PVC
INR40	Inlet Round	971.89	W: 968.79 - 6" PVC
INR41	Inlet Round	971.86	E: 967.86 - 6" PVC
MHST42	MH Storm	975.77	E: 971.97 - 12" RCP
-	-	-	S: 968.27 - 12" VCP
MHST43	MH Storm	975.90	E: 973.70 - 6" PVC
-	-	-	W: 970.70 - 12" RCP
MHSA44	MH Sanitary	981.73	SE: 978.23 - 4" PVC
-	-	-	S: 978.33 - 6" PVC
-	-	-	E: 977.73 - 4" PVC
-	-	-	W: 964.73 - 36" RCP
-	-	-	NE: 10" Unknown (Per Record)
INR45	Inlet Round	977.84	Full - Unable to Identify Inverts
INR46	Inlet Round	977.36	E: 971.78 - 12" RCP
-	-	-	S: 971.61 - 12" RCP
MHSA47	MH Sanitary	980.35	E: 965.85 - 12" Unknown
-	-	-	NE: 965.77 - 12" Unknown
-	-	-	SW: 964.70 - 12" Unknown
INR48	Inlet Round	978.38	NE: 974.08 - 8" VCP
-	-	-	E: 973.72 - 8" VCP
-	-	-	W: 973.63 - 12" RCP
INS49	Inlet Square	976.24	S: 974.58 - 8" PVC
INR50	Inlet Round	982.23	SW: 980.48 - 4" PVC
-	-	-	NW: 970.23 - 8" PVC
-	-	-	SE: 978.18 - 6" PVC
MHST51	MH Storm	977.67	E: 963.17 - 12" Unknown
-	-	-	NE: 963.09 - 12" Unknown
-	-	-	W: 963.02 - 12" Unknown
MHST52	MH Storm	982.79	S: 980.29 - 12" VCP
-	-	-	N: 978.39 - 12" VCP
-	-	-	E: 970.54 - 48" Brick
-	-	-	NW: 970.46 - 48" Brick
CO53	Cleanout	-	Location Per Plan CS-1
CO54	Cleanout	-	Location Per Plan CS-1
CO55	Cleanout	980.11	None Observed
CO56	Cleanout	972.03	None Observed
CO57	Cleanout	971.88	None Observed
CO58	Cleanout	972.06	None Observed
CO59	Cleanout	984.25	None Observed
MHST60	MH Storm	-	Location Per Plan CS-1
HW61	Headwall	977.28	Per Plan - 975.10 - 12" PVC

0' 20' 40' 60'

Scale: 1" = 20'

BASIS OF BEARINGS

THE BASIS FOR BEARINGS IS THE CENTERLINE OF SEVERN ROAD, BEARING NORTH 89°38'40" WEST, BASED UPON SEVERANCE ESTATE SUBDIVISION NO. 2, PLAT VOL. 137 PG. 1 AND IS TO AN ASSUMED MERIDIAN USED TO DENOTE ANGLES ONLY.

BENCHMARK NO. 1

FINISHED FLOOR OF EXISTING BUILDING AT THE EASTERLY ENTRANCE WAS USED AS DATUM BENCHMARK

ELEV. 984.35, FROM RECORD.

BENCHMARK NO. 2

MAGNAIL SET IN FRONT WALKWAY NE OF MHSA 37.

ELEV. 976.25

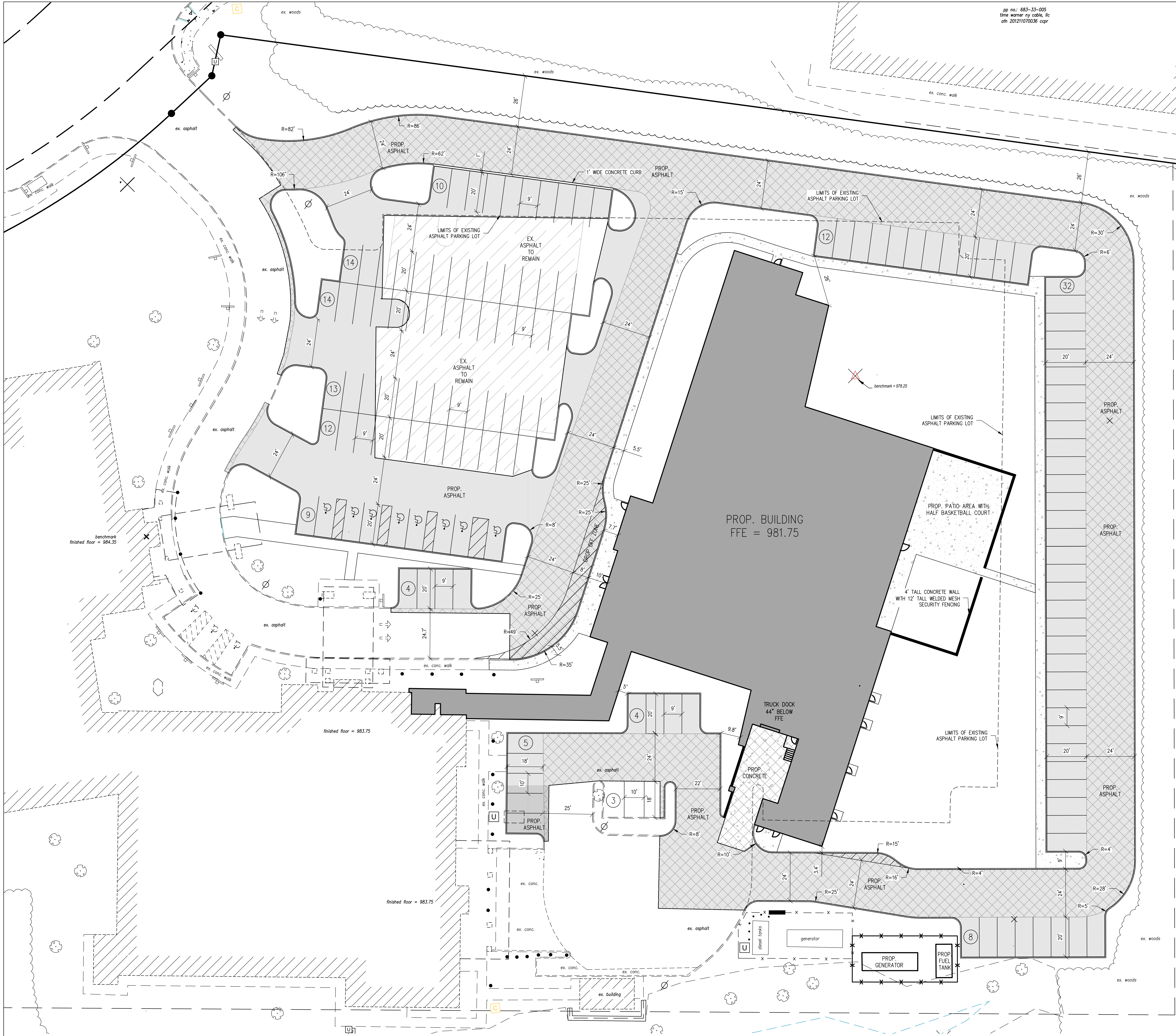
BENCHMARK NO. 3

MAGNAIL SET IN ASPHALT OF EASTERLY PARKING LOT, 20' NE OF INS 10, WALKWAY NE OF MHSA 37.

ELEV. 978.25

REMOVAL LEGEND

- ASPHALT PAVEMENT TO BE REMOVED
- CONCRETE PAVEMENTS, WALKS, AND PATIOS TO BE REMOVED
- GRAVEL PAVEMENTS TO BE REMOVED



PAVEMENT LEGEND

- STANDARD DUTY ASPHALT PAVEMENT.
- HEAVY DUTY ASPHALT PAVEMENT.
- CONCRETE WALLS.
- HEAVY DUTY CONCRETE PAVEMENT.
- EXISTING ASPHALT PAVEMENT TO REMAIN

BASIS OF BEARINGS
THE BASIS FOR BEARINGS IS THE CENTERLINE OF SEVERN ROAD, BEARING NORTH 89°38'40" WEST, BASED UPON SEVERANCE ESTATE SUBDIVISION NO. 2, PLAT VOL. 137 PG. 1 AND IS TO AN ASSUMED MERIDIAN USED TO DENOTE ANGLES ONLY.

BENCHMARK NO. 1
FINISHED FLOOR OF EXISTING BUILDING AT THE EASTERLY ENTRANCE WAS USED AS DATUM BENCHMARK
ELEV. 984.35, FROM RECORD.

BENCHMARK NO. 2
MAGNAIL SET IN FRONT WALKWAY NE OF MHSA 37.
ELEV. 976.25

BENCHMARK NO. 3
MAGNAIL SET IN ASPHALT OF EASTERLY PARKING LOT, 20' NE OF INS 10 WALKWAY NE OF MHSA 37.
ELEV. 978.25

SITE INFORMATION	CODE SECTION	REQUIRED	PROPOSED (SHOWN)	COMPLIANCE STATUS
ZONING AUTHORITY	N/A	CITY OF CLEVELAND HEIGHTS		
ZONING CLASSIFICATION	ZONING MAP 1143.02 and Schedule 1131.02	S-1 MIXED USE	S-1 MIXED USE	COMPLIANT
LAND USE	1143.02 and Schedule 1131.02	HOSPITAL	HOSPITAL	COMPLIANT
MAX. BUILDING HEIGHT	1143.04(b)	35'	21'-0"	COMPLIANT
BUILDING SETBACKS	1143.04(b)(1)	1/2 THE DISTANCE TO THE A DISTRICT = 116.95'	SEE ARCHITECTURAL PLANS	COMPLIANT
FRONT	1143.04(a)(1)	40'	297.4'	COMPLIANT
SIDE	1143.04(a)(3)	150' AGAINST A OR AA DISTRICT 0' OTHERWISE	270.3' 73.1'	COMPLIANT
REAR	1143.04(a)(3)	150' AGAINST A OR AA DISTRICT 0' OTHERWISE	233.9' N/A	COMPLIANT
PARKING SPACES	1161.03	SEE PARKING TABLE BELOW		
ADA SPACES REQUIRED	ADA CODE	3 SPACES REQUIRED IN NEW LOT	3 EXISTING + 8 PROPOSED = 11	COMPLIANT
PARKING STALL DIMENSIONS	1161.11(a)	9' x 20'	9' x 20'	COMPLIANT
DRIVE WIDTH	1161.11(c)	22'	24'	COMPLIANT
PARKING SETBACK				
FRONT	1143.04(a)(2)	40'	104.4'	COMPLIANT
SIDE	1143.04(a)(3)	150' AGAINST A OR AA DISTRICT 0' OTHERWISE	150' 6'	COMPLIANT
REAR	1143.04(a)(3)	150' AGAINST A OR AA DISTRICT 0' OTHERWISE	178.1' 6'	COMPLIANT
INTERIOR LANDSCAPING ISLANDS	1166.06(c)	1 ~ 125 SF ISLAND PER 10 STALLS		COMPLIANT
INTERIOR LANDSCAPING AREA	1166.06(c)	10% OF PARKING AREA		COMPLIANT

PARKING SUMMARY			
PARKING REQUIREMENTS	CODE SECTION	REQUIRED	COMPLIANCE STATUS
OFFICE, MEDICAL OFFICE	1161.03(b)(1)	1 SPACE PER 300 SF OF FLOOR AREA = 462 SPACES	
HOSPITAL	1161.03(b)(3)	2 SPACES PER ROOM = 238 SPACES	
TOTAL		700 SPACES	REDUCTION REQUESTED
PARKING SHOWN		SHOWN	
NON-LANDBANKED PARKING		316 SPACES	
LANDBANKED PARKING		86 SPACES	
TOTAL PARKING SHOWN		402 SPACES	
MEDICAL OFFICE CALCULATIONS	FLOOR AREA	REQUIRED SPACES	
LEVEL 1	57,820 SF		
LEVEL 2	53,250 SF		
LEVEL B	27,300 SF		
TOTAL	138,370 SF	462	
HOSPITAL CALCULATIONS	ROOM COUNT	REQUIRED SPACES	
EMERGENCY ROOM	59	118	
BEHAVIORAL HOSPITAL	60	120	
TOTAL		238	
GRAND TOTAL		700	

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ISSUES / REVISIONS

A 02/10/21 BOC SUBMISSION



ANCHOR HEALTH PROPERTIES

METRO HEALTH BEHAVIORAL HEALTH HOSPITAL

PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 02/10/2021



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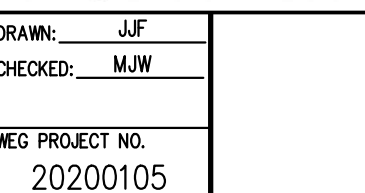
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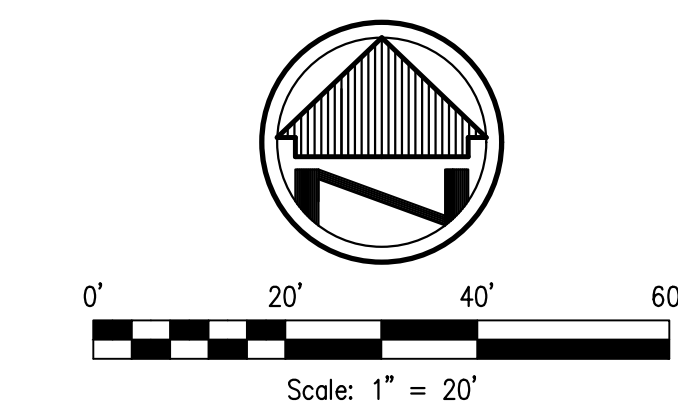
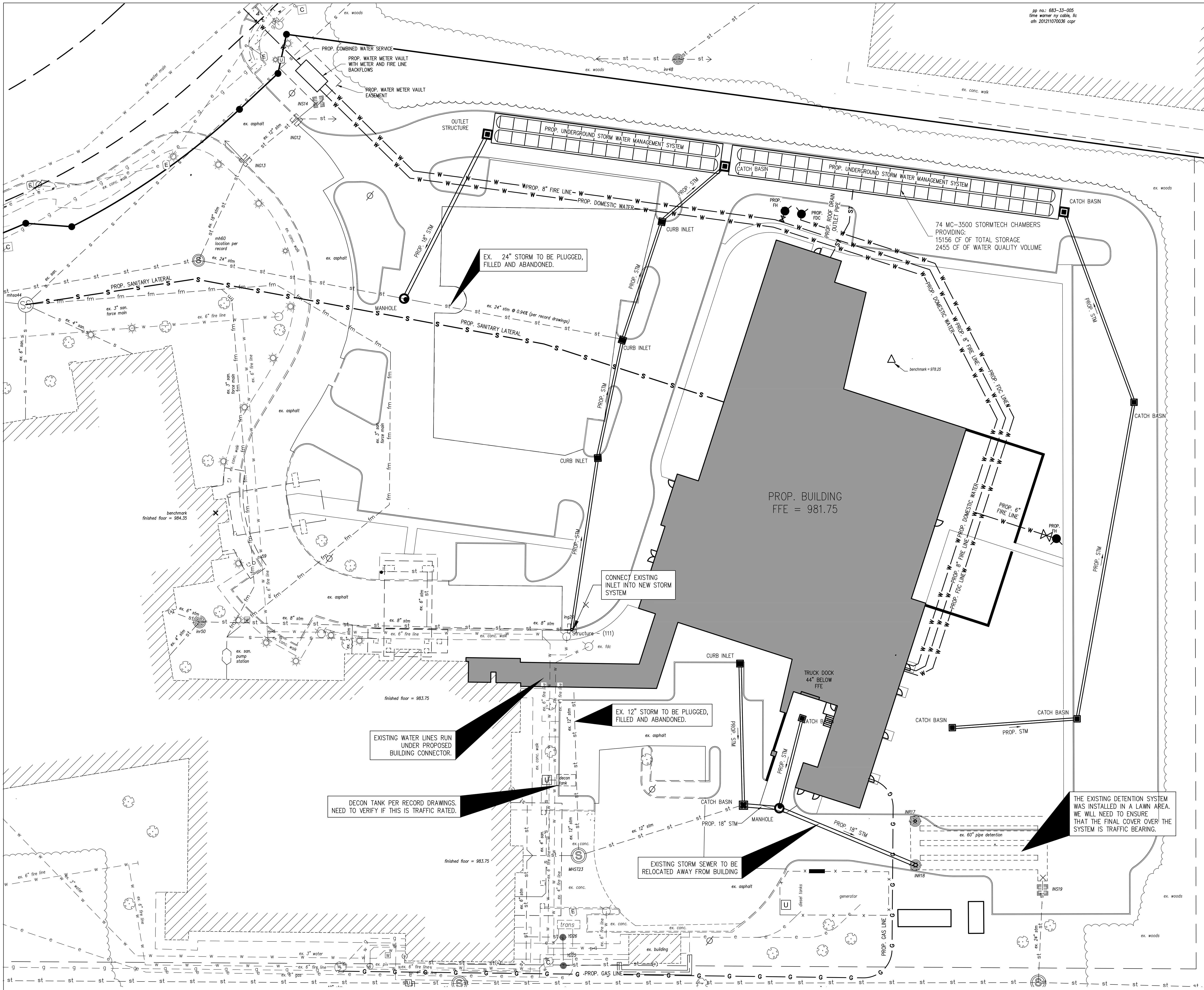
20032.201

SITE PLAN

SCALE

C3.0





BASIS OF BEARINGS
THE BASIS FOR BEARINGS IS THE CENTERLINE OF SEVERN ROAD, BEARING NORTH 89°38'40" WEST, BASED UPON SEVERANCE ESTATE SUBDIVISION NO. 2, PLAT VOL. 137 PG. 1 AND IS TO AN ASSUMED MERIDIAN USED TO DENOTE ANGLES ONLY.

BENCHMARK NO. 1
FINISHED FLOOR OF EXISTING BUILDING AT THE EASTERLY ENTRANCE WAS USED AS DATUM BENCHMARK.
ELEV. 984.35, FROM RECORD.

BENCHMARK NO. 2
MAGNAIL SET IN FRONT WALKWAY NE OF MHSA 37.
ELEV. 976.25

BENCHMARK NO. 3
MAGNAIL SET IN ASPHALT OF EASTERLY PARKING LOT, 20' NE OF INS 10 WALKWAY NE OF MHSA 37.
ELEV. 978.25

SANITARY & STORM STRUCTURES

Structure	Type	Rim Elev.	Inverts Observed
INS10	Inlet Square	977.35	N. 975.35 - 4" PVC
-	-	-	E. 975.05 - 6" PVC
INS11	Inlet Square	977.34	N. 975.34 - 4" PVC
-	-	-	W. 975.34 - 4" PVC
-	-	-	S. 975.34 - 4" PVC
-	-	-	E. 975.44 - 24" RCP
-	-	-	W. 972.39 - 24" RCP
ING12	Gutter Inlet	977.58	NE. 975.58 - 4" PVC
-	-	-	E. 974.18 - 4" PVC
-	-	-	NE. 973.68 - 12" PVC
-	-	-	S. 973.68 - 6" PVC
ING13	Gutter Inlet	977.49	NW. 975.49 - 4" PVC
-	-	-	S. 975.49 - 4" PVC
-	-	-	W. 973.29 - 18" PVC
-	-	-	E. 973.19 - 18" PVC
INS14	Inlet Square	978.08	SW. 975.4 - 6" PVC
INS15	Inlet Square	979.59	W. 979.09 - 4" PVC
-	-	-	N. 977.99 - 4" PVC
-	-	-	E. 977.39 - 6" PVC
-	-	-	NNE. 975.04 - 6" PVC
-	-	-	NE. 975.59 - 6" PVC
-	-	-	SW. 973.94 - 18" PVC
INS16	Inlet Square	980.67	N. 973.27 - 24" PVC
-	-	-	SW. 973.97 - 18" RCP
-	-	-	E. 972.82 - 18" PVC
INS17	Inlet Round	978.61	NW. 970.96 - 18" PVC
INS18	Inlet Square	978.78	Full - Unable to Identify Inverts
INS19	Inlet Square	979.36	N. 974.66 - 18" Steel
-	-	-	S. 971.21 - 18" PVC
-	-	-	N. 972.26 - 6" PVC
ING20	Gutter Inlet	980.87	S. 976.77 - 12" PVC
MHST21	MH Storm	981.53	N. 970.53 - 24" PVC
-	-	-	E. 968.33 - 48" RCP
-	-	-	W. 968.23 - 48" RCP
MHST22	MH Storm	982.83	NW. 968.93 - 48" Brick
-	-	-	SE. 968.88 - 48" Brick
MHST23	MH Storm	983.12	W. 978.02 - 12" PVC
-	-	-	N. 975.02 - 12" PVC
-	-	-	E. 975.07 - 12" PVC
MHST24	MH Storm	983.80	E. 967.05 - 48" Brick
-	-	-	W. 967.00 - 48" Brick
YD25	Yard Drain	983.36	N. 981.01 - 6" PVC
-	-	-	E. 980.96 - 6" PVC
YD26	Yard Drain	983.36	S. 980.56 - 6" PVC
-	-	-	W. 979.16 - 6" PVC
INS27	Inlet Square	968.99	W. 968.09 - 4" PVC
-	-	-	E. 967.99 - 4" PVC
-	-	-	S. 964.04 - 12" PVC
-	-	-	E. 963.29 - 6" PVC
-	-	-	S. 965.24 - 12" VCP
-	-	-	N. 965.86 - 12" VCP
INS28	Inlet Square	970.04	S. 968.04 - 4" PVC
-	-	-	W. 967.64 - 4" PVC
-	-	-	N. 967.54 - 6" PVC
-	-	-	E. 965.14 - 12" PVC
INS29	Inlet Square	970.00	N. 967.90 - 4" PVC
-	-	-	W. 967.40 - 6" PVC
-	-	-	S. 966.00 - 12" PVC
-	-	-	E. 966.00 - 12" VCP
INS30	Inlet Square	970.06	W. 968.06 - 4" PVC
-	-	-	E. 968.06 - 4" PVC
-	-	-	S. 967.46 - 6" PVC
-	-	-	N. 966.06 - 12" PVC
INS31	Inlet Square	972.42	E. 963.32 - 12" VCP
-	-	-	NW. 963.22 - 12" VCP
MHST32	MH Storm	976.00	E. 964.85 - 48" Brick
-	-	-	W. 963.50 - 48" Brick
ING33	Curb Inlet	973.11	W. 969.61 - 6" PVC
-	-	-	E. 967.31 - 12" PVC
MHSA34	MH Sanitary	973.57	W. 968.47 - 12" PVC
-	-	-	S. 961.67 - 12" VCP
-	-	-	E. 955.57 - 36" Brick
-	-	-	NE. 956.57 - 36" Brick
-	-	-	W. 956.37 - 36" Brick
MHST35	MH Storm	975.90	Full - Unable to Identify Inverts
MHST36	MH Storm	975.86	E. 972.36 - 12" VCP
-	-	-	W. Unable to Measure - Clogged
-	-	-	N. 967.46 - 12" VCP
MHSA37	MH Sanitary	976.09	N. 967.49 - 12" VCP
-	-	-	S. 964.59 - 36" RCP
-	-	-	W. 962.49 - 36" RCP
-	-	-	E. Unable to Measure - Clogged
MHST38	MH Storm	976.49	SE. 971.29 - 12" RCP
-	-	-	W. 968.99 - 12" PVC
-	-	-	SW. 968.99 - 12" PVC
-	-	-	E. 965.69 - 12" RCP
INS39	Inlet Square	971.74	NE. 969.74 - 4" PVC
-	-	-	E. 968.34 - 4" PVC
-	-	-	NE. 967.84 - 12" PVC
-	-	-	S. 967.84 - 6" PVC
INS40	Inlet Round	971.89	W. 968.79 - 6" PVC
INS41	Inlet Round	971.86	E. 967.86 - 6" PVC
MHST42	MH Storm	975.77	E. 971.97 - 12" RCP
-	-	-	S. 968.27 - 12" VCP
MHST43	MH Storm	975.90	E. 973.70 - 6" PVC
-	-	-	W. 970.70 - 12" RCP
MHSA44	MH Sanitary	981.73	SE. 978.23 - 4" PVC
-	-	-	S. 978.23 - 6" PVC
-	-	-	E. 977.73 - 4" PVC
-	-	-	W. 964.73 - 36" RCP
INS45	Inlet Round	977.84	Full - Unable to Identify Inverts
INS46	Inlet Round	977.36	E. 971.78 - 12" RCP
-	-	-	S. 971.81 - 12" RCP
MHSA47	MH Sanitary	980.35	E. 965.65 - 12" Unknown
-	-	-	NE. 965.77 - 12" Unknown
INS48	Inlet Round	978.38	SW. 964.70 - 10" Unknown
-	-	-	NE. 974.08 - 8" PVC
-	-	-	E. 973.72 - 8" VCP
INS49	Inlet Square	976.24	W. 973.03 - 12" RCP
INS50	Inlet Round	982.23	S. 974.58 - 6" PVC
-	-	-	SW. 960.48 - 4" PVC
-	-	-	NW. 979.23 - 6" PVC
-	-	-	SE. 978.18 - 6" PVC
MHST51	MH Storm	977.67	E. 963.17 - 12" Unknown
-	-	-	NE. 963.09 - 12" Unknown
-	-	-	W. 963.02 - 12" Unknown
MHST52	MH Storm	982.79	S. 980.29 - 12" VCP
-	-	-	N. 979.29 - 12" VCP
-	-	-	E. 970.54 - 48" Brick
-	-	-	NW. 970.46 - 48" Brick
CO53	Cleanout	-	Location Per Plan CS-1
CO54	Cleanout	-	Location Per Plan CS-1
CO55	Cleanout	980.11	None Observed
CO56	Cleanout	972.03	None Observed
CO57	Cleanout	971.88	None Observed
CO58	Cleanout	972.06	None Observed
CO59	Cleanout	984.25	None Observed
MHST60	MH Storm	-	Location Per Plan CS-1
HW61	Headwall	977.28	Per Plan - 975.10 - 12" PVC



CODED NOTES	
1	MAINTAIN EXISTING LANDSCAPING IN EXISTING ISLANDS TO FULLEST EXTENT POSSIBLE WITHIN NEW PARKING LOT CONFIGURATION
2	RIVER ROCK AND GROUND COVER
3	COVERED BICYCLE PARKING AREA
4	SEEDED GRASS LAWN AREA
4	SEEDED NATIVE GRASS LAWN AREA TO MATCH EXISTING ON CAMPUS
5	NEW MONUMENT SITE SIGNAGE
6	PROPOSED SIDEWALK AREA
7	IMPACT RESISTANT BOLLARDS
8	SITE FURNISHINGS: TRASH RECEPTACLES
9	SITE FURNISHINGS: BENCH
10	22" SEMI-SPHERICAL LUMINAIRE LED LIGHT POLE
11	MICROMESH, NO-CLIMB SECURITY FENCE AT PERIMETER OF PATIENT COURTYARD AREA
12	RETAINING WALL AT LOADING DOCK AREA. SEE CIVIL
13	RELOCATE EXISTING CONCRETE SCULPTURE AND ASSOCIATED UPLIGHTING TO THIS LOCATION. PROVIDE 4'x4'x4" CONCRETE PAD TO MATCH EXISTING.
14	RELOCATE EXISTING FLAG POLE TO THIS LOCATION

LANDSCAPING PLANTING LIST SUMMARY

PER CODE SECTION 1166

KEY	QTY.	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE
TREES:				
AC	13	ACER CAMPESTRE 'PANACEK'	HEDGE MAPLE	10' HT / 2 1/2" CAL MIN. / B&B
AR	10	ACER RUBRUM	RED SUNSET MAPLE	10' HT / 2 1/2" CAL MIN. / B&B
AV	20	ARTOVITAE 'EMERALD GREEN'	ARBOVITAE	6' H / B&B
SR	12	SYRINGA RETICULATA	IVORY SILK LILAC	8' HT / 2" CAL MIN. / B&B

SHRUBBERY:
(NOTED AS 'SS' (SITE SHRUBBERY) ON DRAWINGS. PROVIDE EVEN MIXTURE IN BEDS INDICATED.)

IV	10	ITEA VIRGINICA 'MERLOT'	MERLOT SWEETSPIRE	#3 CONT.
JS	10	JUNIPERUS 'SEA GREEN'	SEA GREEN JUNIPER	#5 CONT.
JT	10	JUNIPERUS TAMARISCIFOLIA	TAM'S JUNIPER	#5 CONT.

NOTES:

- SEEDED LAWN AREAS TO MATCH EXISTING SPECIES ON CAMPUS
- RIVER ROCK TO MATCH EXISTING TYPE AND SIZE ON CAMPUS
- RETAIN ANY/ALL EXISTING LANDSCAPING IN AREAS TO REMAIN.

PARKING SUMMARY

PER CODE SECTIONS 1161.03(b)(1) AND 1161.03(b)(3)

SPACES REQUIRED = 700 SPACES

SPACES PROVIDED = 316 SPACES

SPACES LANDBANKED = 86

(REDUCTION IN REQUIRED SPACES REQUESTED)

PARKING SUPPLY / DEMAND ANALYSIS

PERFORMED BY WALKER CONSULTANTS

FUTURE DEMAND W/ NEW BUILDING = 236 SPACES

EFFECTIVE SUPPLY = 316 SPACES (402 W/ OPTIONAL 86 FUTURE SPACES)

ADEQUACY / SURPLUS = 80 SPACES (166 W/ OPTIONAL FUTURE SPACES)

REPORT CONCLUSION & RECOMMENDATIONS:

*THE METROHEALTH CLEVELAND HEIGHTS MEDICAL CENTER IS ANTICIPATED TO REMAIN ADEQUATE FOR OPERATION WITH THE ANTICIPATED GROWTH ON CAMPUS. - WALKER CONSULTANTS MEMORANDUM, JANUARY 29, 2021

ISSUES / REVISIONS

A | 02/10/21 | BOC SUBMISSION



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DATE: 02/10/2021



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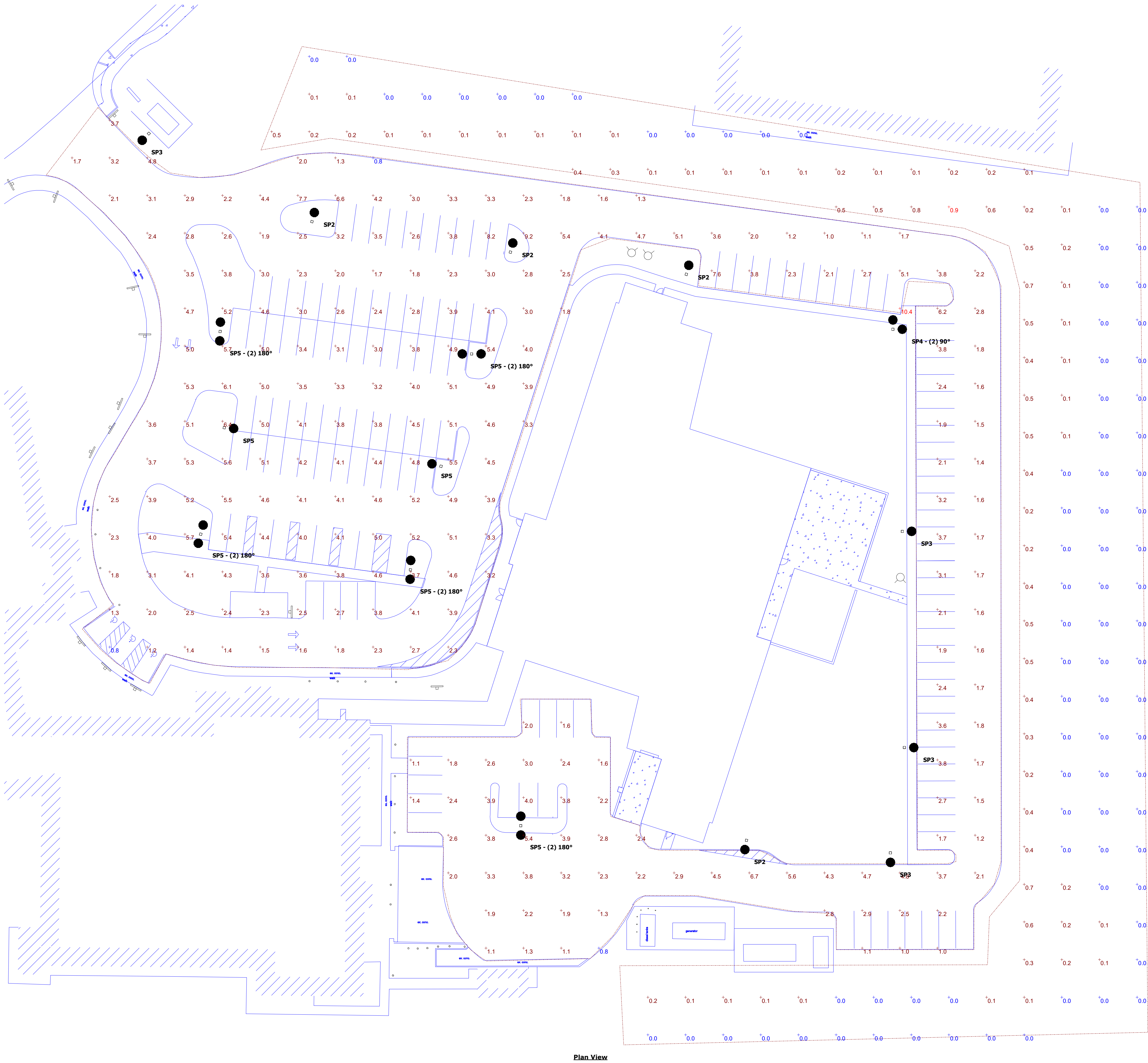
SITE
DEVELOPMENT
PLAN

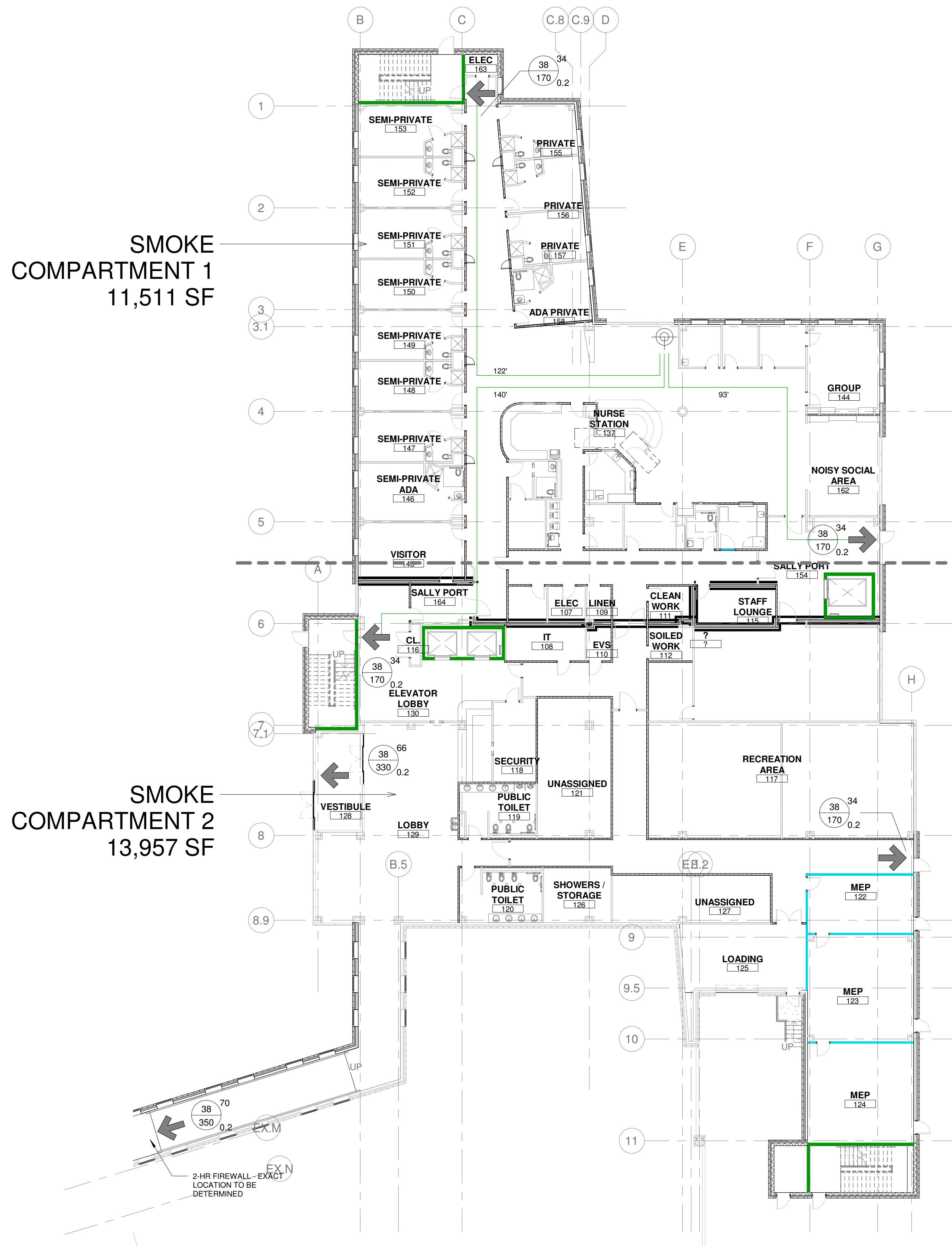
SCALE
As indicated

SD-1

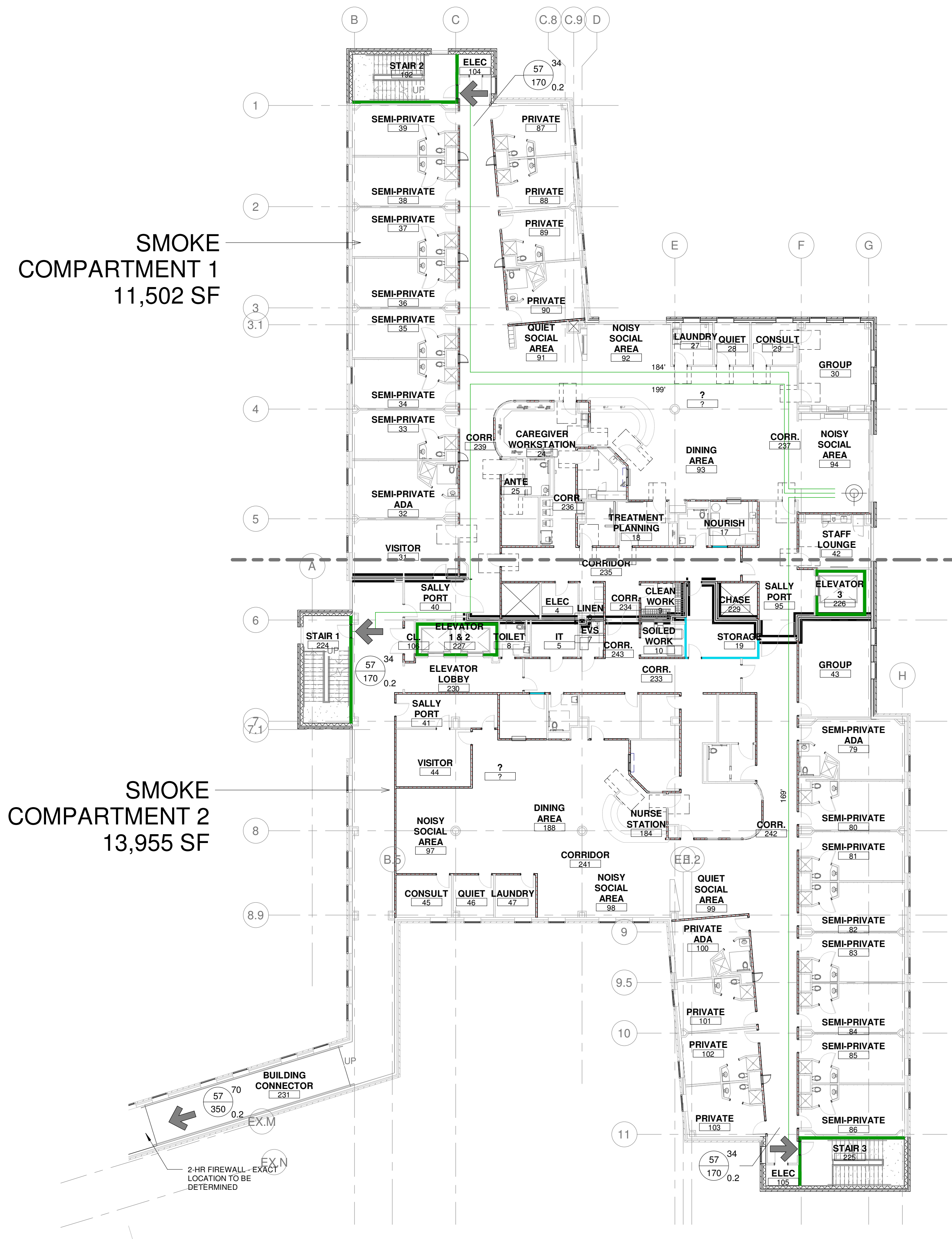
Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Calc Zone #4	+	0.1 fc	0.9 fc	0.0 fc	N/A	N/A	
PARKING	+	3.3 fc	10.4 fc	0.8 fc	13.0:1	4.1:1	

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage
	SP2	4	PHILIPS GARDCO	CA22L-96L-650-NW-G2 2-HIS HE-2019	Form Ten Square Area LED, 96 LED's, 4000K CCT, TYPE 2-HIS OPTIC, GLASS LENS, House-side Internal Shielding, Silver Finish. Pole: Lumec by Signify SP95 Round Steel Pole, 5" round, .25" thick pole with silver finish.	(3) LEDgine 3.1 ARRAY(S) DRIVEN AT 650mA	MA22L-96L-650-NW-G3-2-HIS.ies	19468	0.9	199
	SP3	4	PHILIPS GARDCO	CA22L-96L-650-NW-G2 3-HIS HE-2019	Form Ten Square Area LED, 96 LED's, 4000K CCT, TYPE 3-HIS OPTIC, GLASS LENS, House-side Internal Shielding, Silver Finish. Pole: Lumec by Signify SP95 Round Steel Pole, 5" round, .25" thick pole with silver finish.	(3) LEDgine 3.1 ARRAY(S) DRIVEN AT 650mA	MA22L-96L-650-NW-G3-3-HIS.ies	18357	0.9	199
	SP5 - (2) 180°	5	PHILIPS GARDCO	CA22L-96L-650-NW-G2 5 HE-2019	Form Ten Square Area LED, 96 LED's, 4000K CCT, TYPE 5 OPTIC, GLASS LENS, Silver Finish. Pole: Lumec by Signify SP95 Round Steel Pole, 5" round, .25" thick pole with silver finish. Pole to have (2) fixture heads at 180°.	(3) LEDgine 3.1 ARRAY(S) DRIVEN AT 650mA	MA22L-96L-650-NW-G3-5.ies	24366	0.9	372.2972
	SP4 - (2) 90°	1	PHILIPS GARDCO	CA22L-96L-650-NW-G2 4-HIS HE-2019	Form Ten Square Area LED, 96 LED's, 4000K CCT, TYPE 4-HIS OPTIC, GLASS LENS, House-side Internal Shielding, Silver Finish. Pole: Lumec by Signify SP95 Round Steel Pole, 5" round, .25" thick pole with silver finish. Pole to have (2) fixture heads at 90°.	(3) LEDgine 3.1 ARRAY(S) DRIVEN AT 650mA	MA22L-96L-650-NW-G3-4-HIS.ies	17667	0.9	398
	SP5	2	PHILIPS GARDCO	CA22L-96L-650-NW-G2 5 HE-2019	Form Ten Square Area LED, 96 LED's, 4000K CCT, TYPE 5 OPTIC, GLASS LENS, Silver Finish. Pole: Lumec by Signify SP95 Round Steel Pole, 5" round, .25" thick pole with silver finish.	(3) LEDgine 3.1 ARRAY(S) DRIVEN AT 650mA	MA22L-96L-650-NW-G3-5.ies	24366	0.9	186.1486





1 FIRST FLOOR LIFE SAFETY PLAN - NEW ADDITION
SCALE: 1/16" = 1'-0"



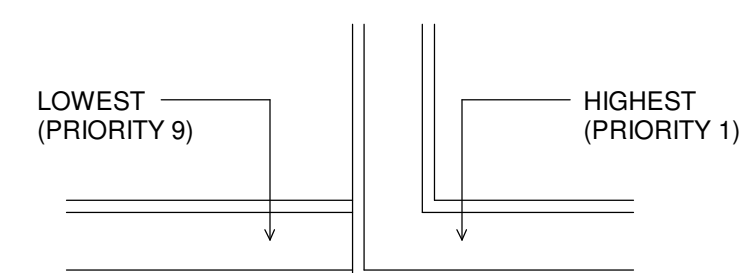
2 SECOND FLOOR LIFE SAFETY PLAN - NEW ADDITION
SCALE: 1/16" = 1'-0"

CODED NOTES 1
NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET

GENERAL
NOTES

1. REFER TO A0-0 FOR TYPICAL FIRE RATED ASSEMBLIES AND DETAILS.
2. EXITS ON PATIENT UNITS WILL REMAIN LOCK (CONTROLLED EGRESS) PER OBC 1010.1.9.6. STAFF SHALL HAVE KEYS, CODES, OR OTHER MEANS NECESSARY TO OPERATE THE LOCKING SYSTEM.

FIRE ASSEMBLY
CONTINUITY



LIFE SAFETY
SYMBOLS

- FE PORTABLE FIRE EXTINGUISHER LOCATION
- FEC PORTABLE FIRE EXTINGUISHER CABINET
- ➔ EXIT
- W = ACTUAL CLEAR WIDTH OF LIMITING COMPONENT (INCHES)
- X = OCCUPANTS USING EXIT
- Y = EXIT CAPACITY
- Z = EGRESS WIDTH PER OCCUPANT (INCHES / OCCUPANT)
- ⊙ MOST REMOTE POINT, TO DETERMINE EXIT ACCESS TRAVEL DISTANCE

LIFE SAFETY WALL
LEGEND

- 2 - HOUR FIREWALL (OBC 706) (PRIORITY 1)
 - 2 - HOUR FIRE BARRIER (OBC 707) (PRIORITY 2)
 - 1 - HOUR FIRE BARRIER (OBC 707) (PRIORITY 3)
 - 1 - HOUR FIRE PARTITION (OBC 708) (PRIORITY 4)
 - SMOKE BARRIER (1 HOUR FIRE-RESISTANCE RATING - MINIMUM) (OBC 709) (PRIORITY 5)
 - SMOKE PARTITION (OBC 710) (PRIORITY 6)
- REFER TO WALL TYPE INFORMATION ON A2-0 FOR ADDITIONAL WALL TERMINATION AND CONSTRUCTION DETAILS.

KEY PLAN



2 FIRST FLOOR SAFETY PLAN - NEW ADDITION
SCALE: 1/16" = 1'-0"



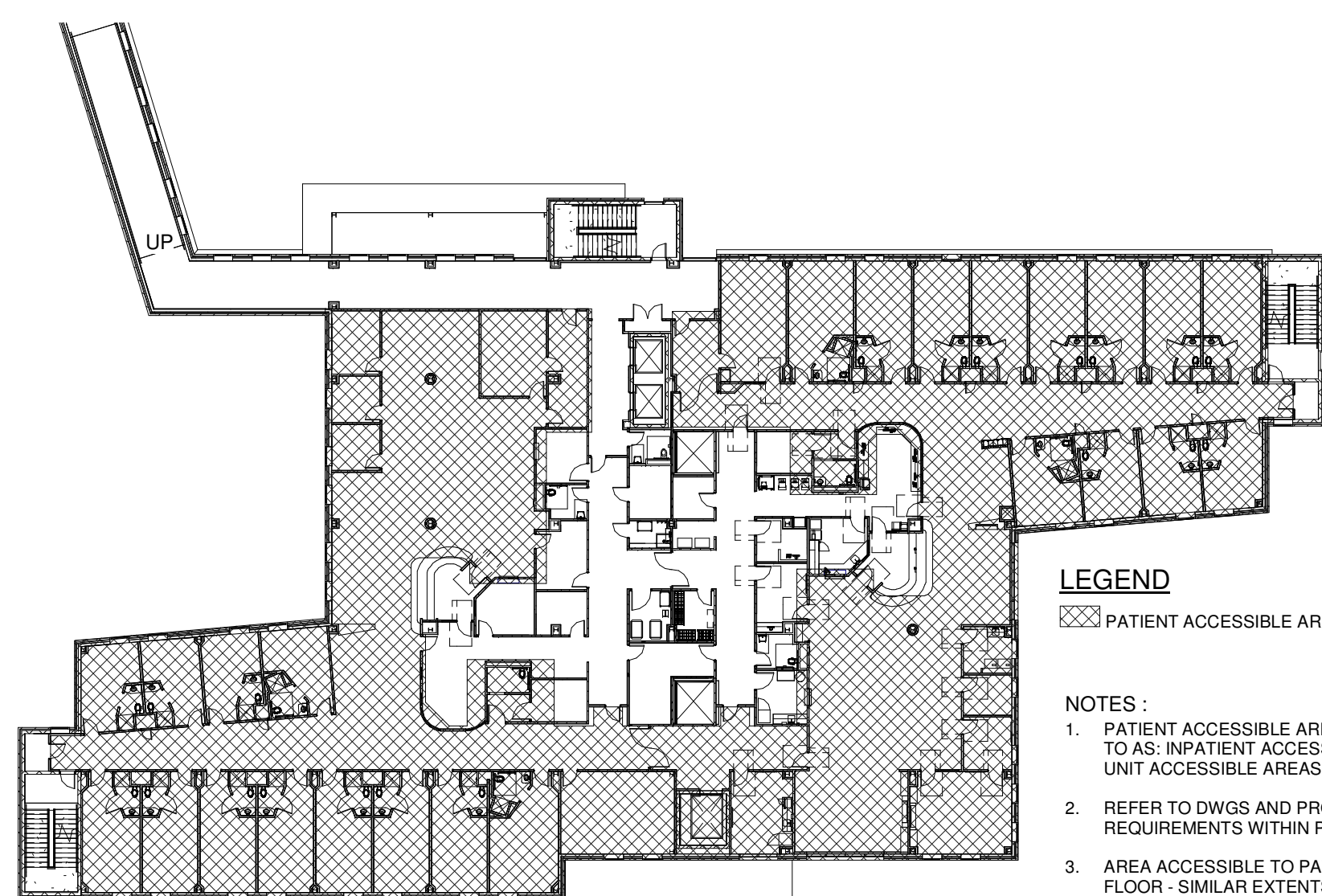
1 SECOND FLOOR SAFETY PLAN - NEW ADDITION
SCALE: 1/16" = 1'-0"

LEGEND

	PATIENTS ARE NOT ALLOWED OR ARE UNDER CONSTANT SUPERVISION
	PATIENTS ARE HIGHLY SUPERVISED, NOT LEFT ALONE, AND AREA IS BEHIND SELF-CLOSING AND SELF-LOCKING DOORS
	PATIENTS ARE HIGHLY SUPERVISED, NOT LEFT ALONE AND AREA MAY OR MAY NOT BE BEHIND SELF-CLOSING AND SELF-LOCKING DOORS
	PATIENTS ARE SUPERVISED AND AREA DOES NOT HAVE LOCKING DOORS
	PATIENTS SPEND TIME ALONE WITH MINIMAL OR NO SUPERVISION
	NEWLY ADMITTED PATIENT AREAS OR PATIENTS IN A HIGHLY AGITATED STATE

NOTES

- AT INPATIENT (IP) LOCATION, GYPSUM BOARD CEILINGS ARE PROVIDED DIRECTLY ABOVE FIXED AND WEIGHTED FURNITURE LOCATIONS. WEIGHTED FURNITURE IS POSITIONED IN SOCIAL AREAS WITH DIRECT VISIBILITY FROM NURSE STATIONS. ACCENT COLOR FLOORING IS POSITIONED AT LOOSE FURNITURE LOCATIONS SO STAFF CAN EASILY DISTINGUISH IF FURNITURE HAS BEEN MOVED. ACoustical CEILING TILE MAY BE USED IN OBSERVABLE PATIENT ACCESSIBLE AREAS OF LEVEL II (IP) AND LEVEL II (OP).
- WITHIN THE OUTPATIENT (OP) LOCATION, ACoustical LAY-IN CEILINGS WITH SOME GYPSUM BOARD SOFFITS' CEILINGS ARE PROVIDED AT AREAS WITHOUT FURNITURE. ABUSE-RESISTANT CEILING FIXTURES ARE PROVIDED AT THESE SUPERVISED LOCATIONS.
- AT CORRIDORS IN LEVEL III AREAS, SUSPENDED ACoustical TILE CEILINGS MAY BE USED AT 10' - 0" A.F.F. AT AREAS WITH NO FURNITURE OR BUILT-IN CASEWORK.
- AT CONTROLLED LEVEL II TREATMENT/PROGRAM ROOMS, OWNER MAY SELECT SUSPENDED ACoustical TILE CEILINGS IF FACILITY RISK ASSESSMENT DETERMINES IT IS APPROPRIATE.



3 PATIENT ACCESSIBLE AREA REFERENCE
SCALE: 1/32" = 1'-0"

SPACE CATEGORY	SECURITY LEVEL DESCRIPTION						COMMENTS
	LEVEL V	LEVEL IV	LEVEL III	LEVEL II (IP)	LEVEL II (OP)	LEVEL I	
Hardened Wall Material	X	X	X	X			
Monolithic Ceiling (Gypsum Board)	X	X	X	X			See notes 1 & 2
Suspended Acoustical Tile Ceiling			X	X	X	X	See notes 3 & 4
9' Minimum Ceiling Height	X	X	X	X	X		
Tamper Proof Fasteners	X	X	X	X			
Ligature-Resistant Hardware	X	X	X				
Ligature-Resistant Accessories	X	X	X	X			
Safety/Security Glazing (Polycarbonate)	X	X	X	X			
Locked Fire Extinguisher Cabinet			X	X			
Heavy Furniture	X	X	X	X			
Safety Receptacles with GFCI breaker protection	X	X	X	X			
Safety Receptacle	X	X	X	X			
Lighting Fixtures - Security / BH Lighting	X	X					
Lighting Fixtures - Vandal/Abuse Resistant			X	X			
Fire Alarm Private Mode and/or Locked Manual Stations			X	X			
Concealed Flush Valves	X	X					
Ligature-Resistant Drains	X	X	X				
Ligature-Resistant Faucets/Shower Controls	X	X	X				
Diffusers and Grilles - Security/Safety Type	X	X					
Diffusers and Grilles - Vandal/Abuse-Resistant			X	X			
Institutional Sprinkler Heads	X	X	X	X			
Temperature Sensor Only	X	X					
Exposed Thermostats with Locking Covers			X	X			

GROSS AREA CALCULATIONS

LEVEL 1 GROSS AREA: 26,818 SF

LEVEL 2 GROSS AREA: 26,964 SF

LEVEL 3 GROSS AREA: 25,401 SF

TOTAL AREA: 79,183 SF

1 FLOOR PLAN - LEVEL 1
SCALE: 1/16" = 1'-0"

2 FLOOR PLAN - LEVEL 2 & 3
SCALE: 1/16" = 1'-0"

FLOOR PLAN LEGEND

- LOBBY/ENTRANCE
- PATIENT BEDROOM
- PATIENT AREA
- PATIENT SOCIAL SPACE
- STAFF SUPPORT
- ELEVATOR LOBBY/SALLY PORT
- VERTICAL CIRCULATION
- BUILDING CONNECTOR
- BUILDING SUPPORT

PATIENT ACCESSIBLE AREA GENERAL NOTES

IN ALL PATIENT ACCESSIBLE AREAS LEVELS 1-3:

- REFER TO A-04 & A0-5 FOR EXTENT OF PATIENT ACCESSIBLE AREAS.
- HIGH IMPACT GYPSUM BOARD TO BE IN ALL PATIENT ACCESSIBLE AREAS. WHERE (2) LAYERS OF GYPSUM BOARD ARE SPECIFIED, THE OUTER LAYER IS TO BE HIGH IMPACT GYPSUM BOARD AND THE INNER LAYER IS TO BE REGULAR TYPE GYPSUM BOARD.
- SOUND INSULATION TO BE PROVIDED IN ALL WALLS.
- WHERE WALLS DIVIDE PATIENT ACCESSIBLE AREAS AND NON-PATIENT ACCESSIBLE AREAS, PROVIDE HIGH IMPACT GYPSUM BOARD ON PATIENT ACCESSIBLE SIDE. REGULAR TYPE GYPSUM BOARD TO BE ON NON-PATIENT ACCESSIBLE SIDE.
- PROVIDE CONTINUOUS PICK-PROOF SECURITY SEALANT AT TOP OF WALL BASE IN PATIENT BEDROOM. WALL BASE TO BE SET IN BED OF CONCEALED CONTINUOUS SEALANT.
- PROVIDE BLOCKING WITHIN GYPSUM BOARD PARTITIONS FOR ALL WALL MOUNTED AND RECESSED ACCESSORIES, FIXTURES AND EQUIPMENT.
- ALL EXPOSED FASTENERS TO BE TAMPERPROOF, TORX PIN HEAD
- REFER TO A2-4E FOR TYPICAL PATIENT UNIT DOOR TYPE.
- ALL INTERIOR GLAZING TO BE 3/8" POLYCARBONATE WITH 1" GLAZING STOP.

LEGEND

- 1# FRAME/WINDOW TYPE DESIGNATION. '1' PREFIX DENOTES INTERIOR FRAMES - REFER TO A7 SERIES.
- EXTERIOR FRAMES (E#): REFER TO EXTERIOR FRAME TYPES (A4 SERIES)
- INTERIOR FRAMES WITH DOORS (D#): REFER TO DOOR/FRAMES SCHEDULE, DETAILS & PLAN SHEET
- 101 DOOR DESIGNATION SEE A8 SERIES DRAWINGS FOR DOOR SCHEDULE.
- REFER TO EQUIPMENT SCHEDULE FOR DETAILED REQUIREMENTS
- CONTRACTOR PROVIDED OR INSTALLED
- OWNER PROVIDED CONTRACTOR TO COORDINATE WITH REQUIREMENTS.
- 1A WALL / PARTITION TYPE DESIGNATION - REFER TO A2-0
- DENOTES "SPECIAL CONSTRUCTION"

GENERAL NOTES

- REFER TO A2 SERIES FOR INTERIOR PARTITION TYPES.
- REFER TO A5 SERIES FOR EXTERIOR WALL TYPES.
- TYPICAL MOUNTING HEIGHTS, WALL BLOCKING, & LOCATIONS OF FIXTURES, ACCESSORIES AND SELECT EQUIPMENT ARE SHOWN ON SHEET A7-0. LOCATIONS OF 'CA' SUPPORT ANGLES ARE SHOWN ON INTERIOR ELEVATIONS. REFER TO REMAINING A7 SERIES DRAWINGS FOR ADDITIONAL REQUIREMENTS AND LOCATIONS OF ACCESSORIES AND EQUIPMENT NOT SHOWN ON FLOOR PLANS.
- ALL CMU WALLS ARE 8" (NOMINAL) UNLESS NOTED OR DIMENSIONED OTHERWISE ON DRAWINGS.
- PATCH AND LEVEL FLOORS AT DEMOLISHED WALLS. PROVIDE LEVEL SURFACES AND PREP FLOOR FOR SCHEDULED FINISH.
- PATCH EXISTING WALLS WHICH ARE NOT AFFECTED BY THE NEW WORK BUT REQUIRE SURFACE REPAIR DUE TO WATER DAMAGE, MISUSE, ACCIDENTAL DAMAGE AND DEMOLITION OR REMOVAL OF WALL MOUNTED EQUIPMENT OR ACCESSORIES. REMOVE OR REPAIR AREAS WHERE SURFACES ARE LOOSE, SPALLING OR DISPLACED. PATCH AND FILL ALL CRACKS AND OPENINGS. PREPARE SURFACES FOR FINAL FINISHES. ALL EXISTING WALL SURFACES SCHEDULED TO RECEIVE NEW FINISHES SHALL BE PATCHED AND PREPARED IN THIS FASHION.
- CONTRACTOR FURNISHES OR INSTALLS ALL SPECIALTY ITEMS, EQUIPMENT, ACCESSORIES, AND FURNISHING ON THIS PLAN. U.N.O. REFER TO LEGEND AND EQUIPMENT SCHEDULE FOR DETAILED REQUIREMENTS.
- REFER TO COORDINATION PLAN FOR ALL OWNER FURNISHED AND INSTALLED ITEMS.

PROPOSED RENOVATION AREA: 2,424 SF +/-
OUTPATIENT: PHP-IOP

PROPOSED RENOVATION AREA: 960 SF +/-
ADMINISTRATION

PROPOSED RENOVATION AREA: 3,122 SF +/-
PHYSICIAN / NURSING OFFICES

PROPOSED RENOVATION AREA: 1,601 SF +/-
TRAINING CENTER

3 LEVEL 2 E.D. & M.O.B.
SCALE: 1/16" = 1'-0"

FLOOR PLAN LEGEND

- PATIENT BEDROOM
- PATIENT AREA
- PATIENT SOCIAL SPACE
- STAFF SUPPORT
- ELEVATOR LOBBY/SALLY PORT
- BUILDING CONNECTOR
- BUILDING SUPPORT

PATIENT ACCESSIBLE AREA GENERAL NOTES

IN ALL PATIENT ACCESSIBLE AREAS LEVELS 1-3:

- REFER TO A-04 & A0-5 FOR EXTENT OF PATIENT ACCESSIBLE AREAS.
- HIGH IMPACT GYPSUM BOARD TO BE IN ALL PATIENT ACCESSIBLE AREAS. WHERE (2) LAYERS OF GYPSUM BOARD ARE SPECIFIED, THE OUTER LAYER IS TO BE HIGH IMPACT GYPSUM BOARD AND THE INNER LAYER IS TO BE REGULAR TYPE GYPSUM BOARD.
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- PROVIDE BLOCKING WITHIN GYPSUM BOARD PARTITIONS FOR ALL WALL MOUNTED AND RECESSED ACCESSORIES, FIXTURES AND EQUIPMENT.
- ALL EXPOSED FASTENERS TO BE TAMPERPROOF, TORX PIN HEAD
- REFER TO A2-4E FOR TYPICAL PATIENT UNIT DOOR TYPE.
- ALL INTERIOR GLAZING TO BE 3/8" POLYCARBONATE WITH 1" GLAZING STOP.

LEGEND

- 1# FRAME/WINDOW TYPE DESIGNATION. 'I' PREFIX DENOTES INTERIOR FRAMES - REFER TO A7 SERIES.
- EXTERIOR FRAMES (E#): REFER TO EXTERIOR FRAME TYPES (A4 SERIES)
- INTERIOR FRAMES WITH DOORS (D#): REFER TO DOOR/FRAMES SCHEDULE, DETAILS & PLAN SHEET
- 101 DOOR DESIGNATION SEE A8 SERIES DRAWINGS FOR DOOR SCHEDULE.
- REFER TO EQUIPMENT SCHEDULE FOR DETAILED REQUIREMENTS
- CONTRACTOR PROVIDED OR INSTALLED
- OWNER PROVIDED CONTRACTOR TO COORDINATE WITH REQUIREMENTS.
- 1A WALL / PARTITION TYPE DESIGNATION - REFER TO A2-0 DENOTES "SPECIAL CONSTRUCTION"

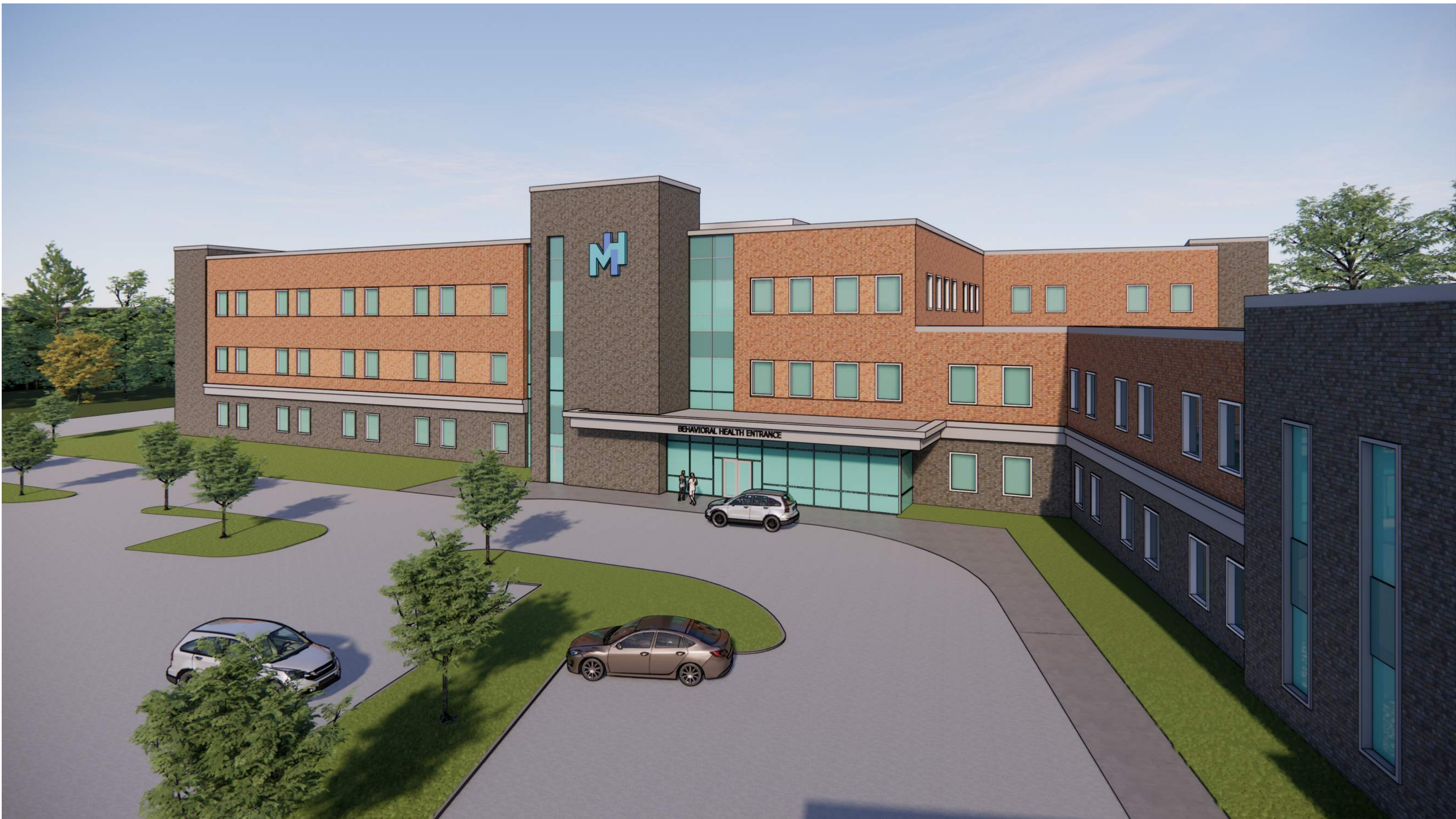
GENERAL NOTES

- REFER TO A4 SERIES FOR INTERIOR PARTITION TYPES.
- REFER TO A5 SERIES FOR EXTERIOR WALL TYPES.
- TYPICAL MOUNTING HEIGHTS, WALL BLOCKING, & LOCATIONS OF FIXTURES, ACCESSORIES AND SELECT EQUIPMENT ARE SHOWN ON SHEET A7-0. LOCATIONS OF 'CA' SUPPORT ANGLES ARE SHOWN ON INTERIOR ELEVATIONS. REFER TO REMAINING A7 SERIES DRAWINGS FOR ADDITIONAL REQUIREMENTS AND LOCATIONS OF ACCESSORIES AND EQUIPMENT NOT SHOWN ON FLOOR PLANS.
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- CONTRACTOR FURNISHES OR INSTALLS ALL SPECIALTY ITEMS, EQUIPMENT, ACCESSORIES, AND FURNISHING ON THIS PLAN. U.N.O. REFER TO LEGEND AND EQUIPMENT SCHEDULE FOR DETAILED REQUIREMENTS.
- REFER TO COORDINATION PLAN FOR ALL OWNER FURNISHED AND INSTALLED ITEMS.

PRELIMINARY CONCEPT RENDERINGS
NOT TO SCALE



VIEW FROM MAIN ENTRANCE DRIVE



BIRD'S-EYE VIEW FROM EMERGENCY DEPARTMENT DROP OFF AREA



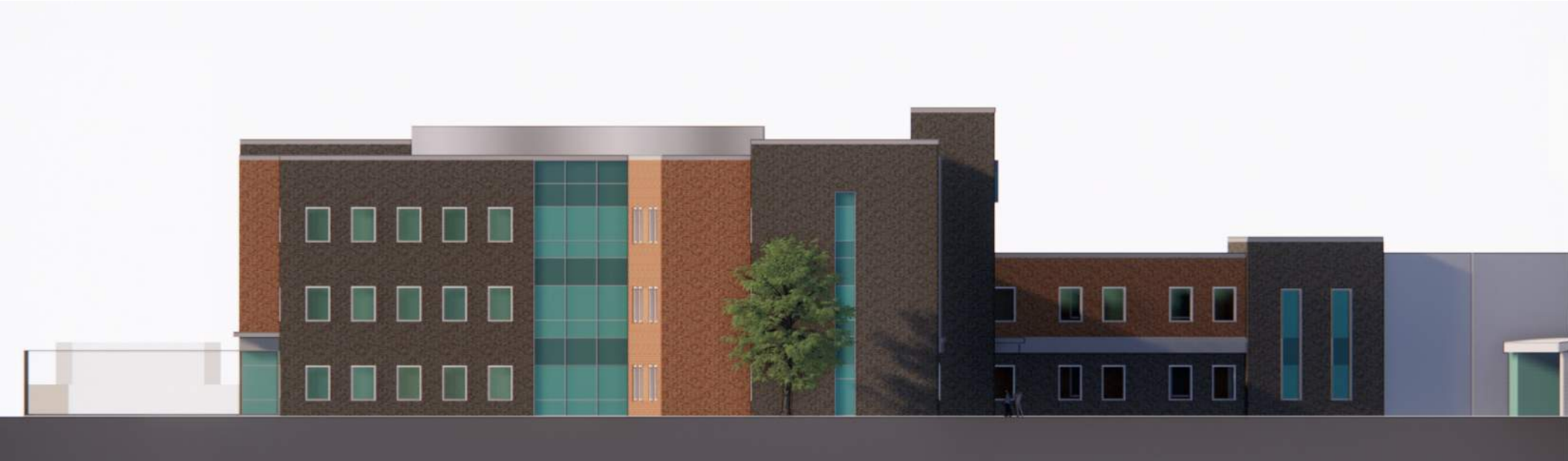
VIEW FROM WOODED AREA AND STAFF PARKING LOT



VIEW FROM EMERGENCY DEPARTMENT DROP OFF AREA



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

ISSUES / REVISIONS		
A	01/25/21	SD REVIEW SET
B	02/10/21	BOC SUBMISSION



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DATE: 02/10/2021



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PROJECT NO.
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PRELIMINARY
CONCEPT
RENDERINGS

SCALE
1" = 1'-0"

A4-0

File: C:\Projects\20032.201 Anchor-Metro BH Hospital_A420_Central_array\A420AG.rvt
Date: 2/10/2021 9:49:46 AM



VIEW OF EMERGENCY DEPARTMENT ENTRANCE AREA



VIEW OF EMERGENCY DEPARTMENT AND OFFICE BUILDING FROM PARKING AREA



VIEW OF EMERGENCY DEPARTMENT AND OFFICE BUILDING FROM ENTRY DRIVE



VIEW OF CAMPUS FROM SEVERANCE CIRCLE



VIEW OF OFFICE BUILDING FROM SEVERANCE CIRCLE



VIEW OF OFFICE BUILDING FROM SEVERANCE CIRCLE



PANORAMIC CAMPUS VIEW FROM SEVERANCE CIRCLE

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ISSUES / REVISIONS

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PROJECT NO.
20032.201

SITE CONTEXT
PHOTOS

SCALE
1 : 5

A4-0.1



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. INSTANCES OF EXTERIOR VISION AND SPANDREL GLAZING ARE INDICATED FOR REFERENCE. REFER TO EXTERIOR FRAME TYPES DRAWING FOR SPECIFIC EXTERIOR GLAZING TYPES.

CODED NOTES

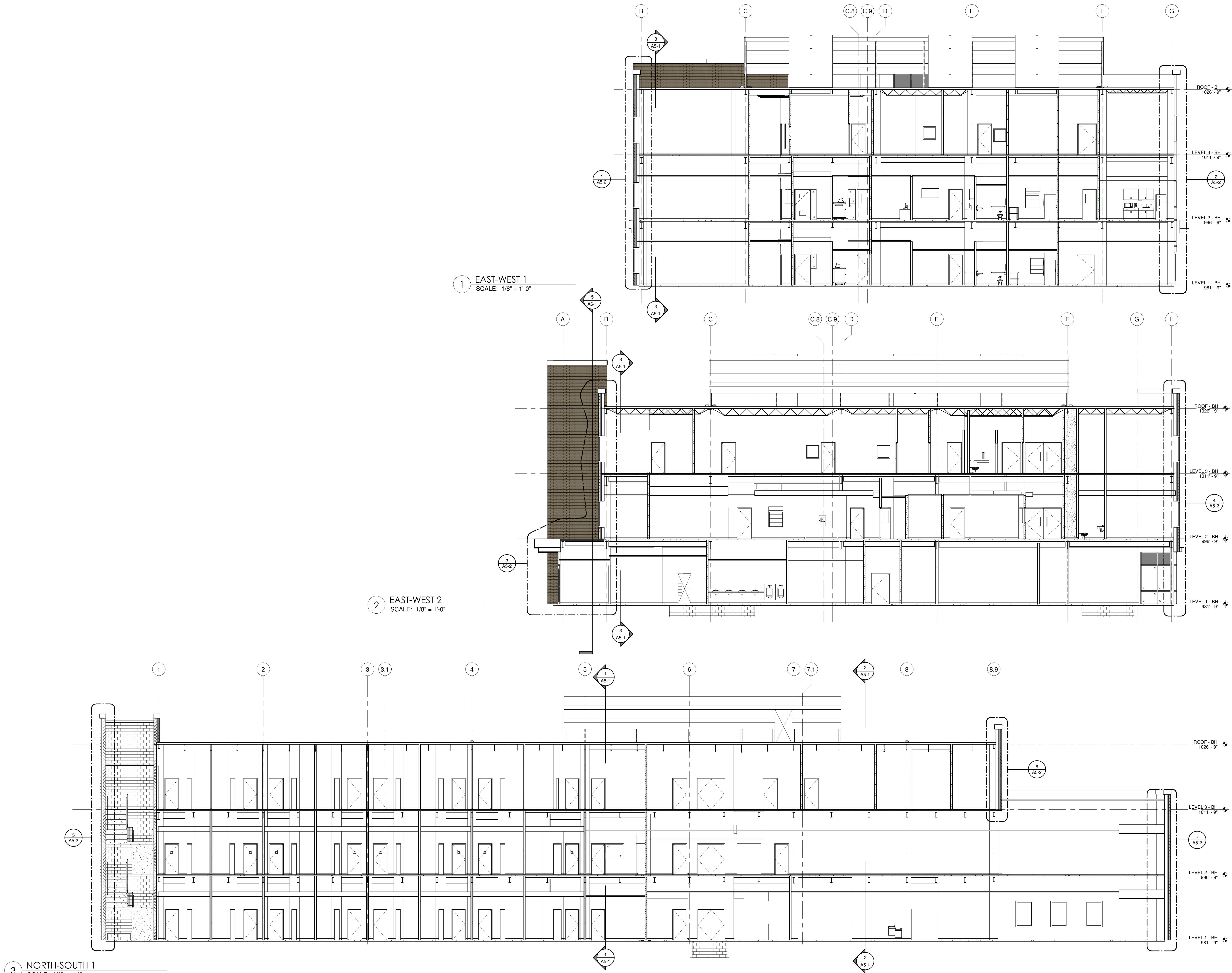
NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET

- 1 FACE BRICK - TYPE 1 TO MATCH EXISTING BRICK ON CAMPUS
- 1a POLISHED FACE BRICK - TYPE 1a TO MATCH EXISTING BRICK ON CAMPUS
- 2 FACE BRICK - TYPE 2 TO MATCH EXISTING BRICK ON CAMPUS
- 3 SECURITY WINDOW - 48" W x 72" H, BASIS OF DESIGN: WASAU 4000-DT
- 4 7 1/4" CURTAIN WALL SYSTEM
- 5 6" STOREFRONT SYSTEM
- 6 ANODIZED ALUMINUM MANUFACTURED COPING SYSTEM
- 7 ANODIZED ALUMINUM ACM PANELS ON FRT PLYWOOD SUBSTRATE AND METAL STUD FRAMING
- ENTRANCE CANOPY - ANODIZED ALUMINUM ACM PANELS ON FRT PLYWOOD SUBSTRATE AND METAL STUD FRAMING
- 8 CORRUGATED METAL PANEL SCREEN WALL ON 4" HCC TUBES AT RTUS

LEGEND

- EXTERIOR VISION GLAZING
- EXTERIOR SPANDREL GLAZING
- FACE BRICK TYPE 1
- FACE BRICK TYPE 2

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ISSUES / REVISIONS

A	01/25/21	SD REVIEW SET
B	02/10/21	BOC SUBMISSION



METROHEALTH

METRO
HEALTH
BEHAVIORAL
HEALTH
HOSPITAL

PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 02/10/2021



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PROJECT NO.
20032.201

BUILDING
SECTIONS

SCALE
1/8" = 1'-0"

A5-1